



**TOWN OF JUPITER INLET COLONY**  
A MUNICIPAL CORPORATION

**NOTICE OF PUBLIC MEETING  
BUILDING AND ZONING COMMITTEE  
LOCATION: TOWN HALL, 50 COLONY ROAD  
DATE AND TIME: WEDNESDAY, MARCH 20, 2024 AT 5:00 PM**

Join by Zoom at: <https://zoom.us/join> OR dial-in by location:

+1-301-715-8592  
+1-312-626-6799

+1-929-205-6099  
+1-253-215-8782

+1-346-248-7799  
+1-669-900-6833

**Meeting ID: 585 628 8134  
Password: 3787**

**MEETING AGENDA**

1. Call to Order.
2. Roll Call: Russell Bourne (Chair), William Gilbane (Vice Chair), Butch Harper, Brad Eavenson, Roger Siboni, Katharine Murray, Matthew Carrara. Planning and Zoning Administrator: Bill Whiteford
3. Motion to approve prior minutes – February 15, 2024 meeting.
4. Public Comments - items not on the agenda (3 minutes).
5. Discussion Item:
  - A. Building permit fees and timeframes to complete construction (final discussion).
6. Continued Items:
  - A. #20 Ocean Drive: new two-story residence with outdoor pool. Total under air: 6,834 sf. Total square footage: 9,768 sf. Lot occupancy calculation: 47.97% (50% allowed). Maximum building height: 25' (25' allowed).
  - B. #34 Ocean Drive: new two-story residence with outdoor pool. Total under air: 3,795 sf. Total square footage: 4,637 sf. Lot occupancy calculation: 49.29% (50% allowed). Maximum building height: 24'-11¼" (25' allowed).
7. Other Matters: accessory structure setbacks and screening.
8. Motion to Adjourn.

**STATE MANDATED STATEMENT**

If a person decides to appeal any decision made by the board, agency, or Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town Administrative Office at 50 Colony Road, Jupiter Inlet Colony, FL 33469, or by telephone at 561-746-3787, prior to the meeting.





# **TOWN OF JUPITER INLET COLONY**

*A MUNICIPAL CORPORATION*

## **TOWN OF JUPITER INLET COLONY BUILDING AND ZONING COMMITTEE MEETING**

**BUILDING AND ZONING MEETING  
Thursday, February 15, 2024**

### **MINUTES**

1. Call to Order. Russell Bourne called the meeting to order at 5:04 p.m.
2. Roll Call:

Russell Bourne (Chair) - Present  
William Gilbane (Vice Chair) - Present  
Butch Harper - Present  
Brad Eavenson - Absent  
Roger Siboni - Absent  
Katharine Murray - Present  
Matthew Carrara – Present

Also in attendance: Mike Armato, owner 34 Ocean, on the phone, Chris Sorenson, CEA, Mitch Miller, Village Architects, Chris Andrus, Village Architects, Don French, homeowner 64 Colony, Marie Rosner, Commissioner,

3. Motion to approve prior minutes - January 18, 2024 meeting. Butch Harper made the motion to approve the minutes, the motion was seconded by Matt Carrara, and the motion passed unanimously.
4. Public Comments - items not on the agenda (3 minutes). No Comments
5. New Items:

The Chair, Russell Bourne requested to change the order of plan review and review the property of 34 Ocean first.

- A. #34 Ocean Drive: new two-story residence with outdoor pool. Total under air: 3,827 sf. Total square footage: 4,669 sf. Lot occupancy calculation: 49.84% (50% allowed). Maximum building height: 24'-11 1/4" (25' allowed).

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## ***TOWN OF JUPITER INLET COLONY***

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Bill Whiteford provided background to the project and discussed the building setbacks in the handout.

Mike Armato commented about the setbacks and deferred to Mitch Miller, Village Architects and Bill Whiteford.

Mike Armato stated that he was not able to log into Zoom.

Discussion of the irregular lots and the setbacks. Mitch Miller would like to participate in the discussion of the code, how it is written and interpreted. Further discussion on the drainage, currently there is an issue with drainage, and we do not have an approved grade and drainage plan.

Matt Carrara brought up discussion of location of pool equipment and generators. Bill Whiteford cited code for requiring a pad for pool equipment, and the screen requirement for generators. Katharine Murray asked about the times when the pool pumps run.

Bill Whiteford reviewed all plans of the house, grade & drainage, and landscape plans.

Mike Armato asked if a retaining wall should be placed on the side and level the lot. Bill Whiteford stated that drainage needs to be from back to front. The committee discussed the use of the retaining wall on the property. Bill Whiteford stated that Tom Jensen and Chad would need to approve a retaining wall.

Don French commented on the elevation and that it seemed a bit high at the moment. The committee discussed the various elevations of the surrounding lots. Bill Whiteford stated that Tom Jensen will review all points and we are waiting for Tom's final approval.

Katharine Murray asked the question about windows on the second floor and how they align with the neighbor's home and the committee discussed. Bill Whiteford said it is in the code that there must be windows on the second floor but only 10%.

There was discussion on deferring approval of the plans for 34 Ocean until the March B&Z meeting. Russell Bourne asked for a motion.

Butch Harper made the motion to defer approval until the March meeting when all plans are received, the motion was seconded by Matt Carrara, and the motion carried unanimously.

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## ***TOWN OF JUPITER INLET COLONY***

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- B. #20 Ocean Drive: new two-story residence with outdoor pool. Total under air: 7,745 sf. Total square footage: 10,588 sf. Lot occupancy calculation: 48.83% (50% allowed). Maximum building height: 24'-11 5/8" (25' allowed).

Bill Whiteford reviewed the plans for 20 Ocean with the committee. One area of concern is that this property has a basement. The square footage of the basement is not included in the total sq. ft. of the house, which keeps it under 50%, but including it pushes it over the 50% lot coverage.

The committee continued discussion about the basement, the water table, and Mitch Miller stated that after the B&Z approves the plans, they then go to the State for review by the Coastal Commission. The walls of the basement must be breakaway walls per the DEP.

Discussion on the solar panels, there will not be a generator on property, but in its place will be a battery panel located in the basement room.

Butch Harper objects to the basement due to possibility of erosion based on recent events of the ocean front homes in the Town and would like to see a complete redesign of the basement structure.

Discussion on the square footage, the basement increases the total, and how to make it passable as uninhabitable, Mitch Miller stated that the ceiling could be lowered from 8 feet to 7'2", which qualifies as uninhabitable.

The committee said the review and approval needs to be deferred until the March B&Z meeting.

Bill Gilbane made the motion to defer review and approval until the March meeting, the motion was seconded by Butch Harper, the motion carried unanimously.

### **STATE MANDATED STATEMENT**

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6. Discussion Items:

A. Building permit fee schedule (Resolution R-2019-07).

Russell provided the history of the revision of this resolution as well as the Town Ordinance. And provided the information discussed at the meeting Mayor Hocesvar had with the several of the Builders on February 2, 2024.

Discussion on how to implement the fee structure, monitor construction schedules, and modify the ordinance and resolution.

Butch Harper suggested that permit fees are front loaded with the reward to get a refund when construction is completed before or on schedule. Matt Carrara suggested receiving a quarterly report from the contractor detailing where they are in the construction project.

Russell Bourne suggested that the fee is based on the square footage of the lot rather than the house.

7. Any Other Matters:

Bruce brought up Form 1 and said that the B&Z members will need to complete it.

8. Motion to Adjourn:

Matt Carrara made the motion to adjourn, the motion was seconded by Bill Gilbane, and the motion was carried unanimously. The meeting was adjourned at 7:53 p.m.

Approved,

Attest,

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Russell Bourne, Chair

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Kathi Cornelius, Deputy Town Clerk

STATE MANDATED STATEMENT

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## Bill Whiteford

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**To:** Edward Hocevar; Russell Bourne; Brad Eavenson; Bill Gilbane; Butch Harper; Roger Siboni  
**Cc:** William P. Doney; Kevin Lucas; Kathi Cornelius; Ivelisse Chico-Randazzo  
**Subject:** JIC Permit Fee Resolution Change, Mtg. w/JIC General Contractors

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**From:** Edward Hocevar <hocevar@jupiterinletcolony.org>

**Sent:** Friday, February 2, 2024 4:44 PM

**To:** Russell Bourne <russellbourne@mac.com>; Brad Eavenson <brad@efli.law>; Bill Gilbane <wgilbane@gilbaneco.com>; Butch Harper <butchharper1946@gmail.com>; Roger Siboni <rogersiboni@gmail.com>; Bill Whiteford <wcw@teamplaninc.com>

**Cc:** William P. Doney <doney@caldwellpacetti.com>; Kevin Lucas <lucask@jupiterinletcolony.org>; Kathi Cornelius <Corneliusk@jupiterinletcolony.org>; Ivelisse Chico-Randazzo <RandazzoI@jupiterinletcolony.org>

**Subject:** JIC Permit Fee Resolution Change, Mtg. w/JIC General Contractors

All,

Today I met with 3 of the major general contractors performing work in JIC that included Mike Armato of CEA and his associate, Dennis (John) McDonald, and Evan Anderson of Onshore. I shared with them the approach we'd like to take (ref. attached Word doc), where we front load our fee collection when the initial permit is issued based on a revised cost/sq. ft. basis. I explained that we're currently working with our accountant to make sure the revised basis and applied percentage will provide for adequate revenue to cover JIC's building support costs and allow for partial permit fee recovery with timely completion of their permitted project. This approach was generally well received; however several good points were made by the participants that also need to be considered prior to adopting any changes.

These include:

1. The current building terms of 12 months for residences 4000 sq.ft. or less, and 18 months for anything larger isn't realistic due to several factors including the tight confines of our roads and lots. Also, the 4000 sq. ft. requirement could entice someone to build to 4001 sq. ft. in order to increase the build term by 6 months. It was suggested that lot square footage could be a better basis for determining term duration. Review of the attached PDF scan of all JIC lots and their sizes can be used for your consideration. On large projects that require pilings, 2 permits may have to be considered. 1 for the pilings and another for the residence. Any changes that extend the project term will not likely be well received by existing home residents so it would be wise to simultaneously propose enforcement of existing codes regarding parking, dust control, site appearance, etc. and possibly offer additional measures such as a site supervisor and traffic control.
2. The current practice of submitting an affidavit following construction completion for comparison to the original permit basis could unfairly penalize owners for making amenity improvements that add to the total build cost.
3. All builders concurred that a signed owner/builder affidavit confirming full knowledge of the permit fee schedule at the time of initial permit issue would clarify expectations and responsibilities.
4. Current build permits remain open beyond the original permit term provided that inspections continue.

Clearly a single resolution change will not be sufficient to address all the necessary changes as we will also need to revise our current building ordinances. My goal is to add this topic for discussion only at the Feb 12 commission meeting, but to follow up with the first reading of a proposed ordinance change at the March commission meeting and final reading and approval in April along with the fee schedule resolution. I look forward to working with all of you prior to and at the next Feb B&Z meeting to work out an acceptable set of changes that meet this goal timeline.

Ed Hocevar



**RESOLUTION NO. \_\_\_\_\_**

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF JUPITER INLET COLONY, FLORIDA, AMENDING ITS SCHEDULE OF PERMIT FEES IN ACCORDANCE WITH SECTION 4-1.1 OF THE CODE OF ORDINANCES TO ADOPT AND ESTABLISH A NEW SCHEDULE OF PERMIT FEES; PROVIDING A CONFLICTS CLAUSE, A SEVERABILITY CLAUSE, AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

WHEREAS, Section 4-1.1 of the Code of Ordinances, Town of Jupiter Inlet Colony, Florida, provides that permit fees shall be established by Resolution duly adopted by the Town Commission; and

WHEREAS, the Town Commission hereby desires to adopt and establish a schedule of permit fees as set forth below.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF JUPITER INLET COLONY, FLORIDA, that:

SECTION 1: Permit fees are hereby adopted and established pursuant to the following schedule:

(a) Building Permit Fees:

Amount is based on contract or the fair and reasonable construction value of the proposed work to be accomplished in the Town subject to adjustment as set forth in Section 4-10(d) of the Town's Code of Ordinances. For purposes of the issuance of a building permit for new construction, the construction value shall initially be estimated at the greater of (i) \$3650.00/ square foot of total floor area as defined in Appendix A-Zoning Code or (ii) the contract amount for the new construction work to be completed under such building permit. For purposes of the issuance of a building permit for a major remodel or re-build (requiring a 12-month building permit), the construction value shall initially be estimated at the greater of (i) \$3450.00/square foot of proposed new floor area and \$4250.00/square foot of existing floor area for proposed renovation, or (ii) the contract amount for the remodel or re-build construction work to be completed under such building permit.

<u>AMOUNT</u>	<u>FEE</u>
Up to \$2,000.00	\$60.00
Above \$2,000.00	3.0%



In order to encourage the timely and expeditious completion of construction projects, in the event an owner or contractor completes construction during the term of the initial building permit, \_\_\_\_\_ % of the initial permit fee shall be refunded to the owner or contractor. In the event the owner or contractor completes construction within the term of the 1<sup>st</sup> renewal permit, \_\_\_\_\_ % of the initial permit fee will be refunded to the owner or contractor. The owner or contractor will be entitled to no refund of a portion of the initial permit fee in the event construction is not completed during the term of the initial building permit or the 1<sup>st</sup> renewal permit, if applicable. For purposes of this Section, completion of construction shall be the issuance of a certificate of occupancy for new construction or a certificate of completion for a major remodel or re-build.

- (b) Moving building: \$1,000.00
- (c) Demolition: \$350.00 minimum, or 3% of cost of demolition, whichever is greater
- (d) Structural Pest Control: \$50.00
- (e) A new construction plan review fee of \$400.00 is required for all new construction projects. The fee is non-refundable and is not credited to the permit fee at the time of permit issuance.
- (f) Plan Revision Fee: \$75.00 per revision
- (g) Re-inspection Fee(s):
  - First Re-inspection: \$ 50.00
  - Second Re-inspection: \$100.00
  - Third & Subsequent Re-inspection(s): \$150.00
- (h) Additional Plan Review Fee(s):
 

A fee of \$75.00 per hour shall be charged for all plan review(s) subsequent to the initial new construction plan review.
- (i) Inspection Fee(s) for inspections on non-scheduled days:
 

Regular inspections will be performed only on Tuesday and Thursday between the hours of 8:00 A.M. and 4:00 P.M. In the event an inspection is requested to be performed at other times, a surcharge of \$300.00 shall be due for each such inspection performed.
- (j) Renewal Permit Fee(s): (To be charged in the event of the expiration of an initial or renewal permit due to non-completion of work)
  - 1) 1<sup>st</sup> Renewal (6 month term) ~~3%~~ \$100.00
  - 2) 2<sup>nd</sup> Renewal (6 month term) ~~3%~~ \$100.00
  - 3) 3<sup>rd</sup> Renewal (term based on square footage) 3.0% of cost of remaining construction
  - Full Re-submittal required
  - 4) Additional Renewals (6 month term) ~~3%~~ \$100.00



(k) Zoning Review Fee: A zoning review fee in the amount of \$500.00 shall be required on all submittals of plans for a building permit that require review by the Building and Zoning Committee.

(l) Zoning Variance Fee: A zoning variance fee in the amount of \$2500.00 plus administrative (mailing and publication) costs shall be required on all applications for a variance from the provisions of the Zoning Code. A deposit of \$2500.00 shall be paid at time of application and all administrative costs must be paid prior to the public hearing before the Town Commission.

(m) Zoning Waiver Fee: A zoning waiver fee in the amount of \$125.00 shall be required on all applications for a waiver from the provisions of the Zoning Code.

SECTION 2: All resolutions or parts of resolutions in conflict herewith be and the same are hereby repealed.

SECTION 3: Should any section or provision of this Resolution or any portion thereof be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the remainder of this Resolution.

SECTION 4: This Resolution shall become effective on adoption.

PASSED AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

TOWN OF JUPITER INLET COLONY, FLORIDA

\_\_\_\_\_  
Mayor Ed Hocevar

\_\_\_\_\_  
Vice-Mayor Mark Ciarfella

\_\_\_\_\_  
Commissioner William "Bill" Muir

\_\_\_\_\_  
Commissioner Marie Rosner

\_\_\_\_\_  
Commissioner Sharon Seagren

ATTEST:

\_\_\_\_\_  
Town Clerk, Ivelisse Chico-Randazzo



**ORDINANCE NO. 2024-\_\_**

**AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF JUPITER INLET COLONY, FLORIDA, AMENDING CHAPTER 4 BUILDING AND BUILDING REGULATIONS, SECTION 4-2. TERM OF BUILDING PERMITS; FILL, REMOVAL OR REGRADING PLANS REQUIRED; PLOT PLAN, MAXIMUM HEIGHT CERTIFICATION REQUIRED, SUBSECTION (A) OF THE CODE OF ORDINANCES OF THE TOWN OF JUPITER INLET COLONY IN ORDER TO AMEND THE TERM OF BUILDING PERMITS FOR NEW CONSTRUCTION; PROVIDING AUTHORITY TO CODIFY; PROVIDING A CONFLICTS CLAUSE, A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE; AND FOR OTHER PURPOSES**

NOW, THEREFORE, BE IT ENACTED BY THE TOWN COMMISSION OF THE TOWN OF JUPITER INLET COLONY, FLORIDA, AS FOLLOWS:

SECTION 1. Chapter 4 BUILDING AND BUILDING REGULATIONS, *Section 4-2. Term of building permits; fill, removal or regrading plans required; plot plan, maximum height certification required*, Subsection (a) of the Code of Ordinances of the Town of Jupiter Inlet Colony, Florida is hereby amended to read as follows:

**Sec. 4-2. Term of building permits; fill, removal or regrading plans required; plot plan, maximum height certification required.**

- (a) The term of a building permit for construction authorized by the town shall be as follows:
  - (1) Three-month term for change out or replacement of systems or improvements such as air conditioning, water heater, decks, walkways, beach cross-over, roofs, and driveways.
  - (2) Six-month term for seawalls, docks, or rip rap installations or repairs and for minor remodel work such as bathroom, kitchen, laundry and pool area remodeling.
  - (3) Twelve-month term for major remodel or construction such as changing the footprint or the exterior walls of a structure; replacing the roof structure and/or elevation where a certificate of completion is to be issued.
  - (4) The term of a permit for new construction of structures including garages, out buildings, and landscaping shall be as follows:
    - a. New residences with four thousand (4,000) square feet or less under air—~~Twelve (12)~~ Fifteen (15) months.



- b. New residences with greater than four thousand (4,000) square feet under air—~~Eighteen (18)~~ Twenty (20) months.
- (5) A permit may be renewed or extended two (2) times for a term of six (6) months for each renewal upon payment of the fee as established by resolution. In the event a third renewal or extension permit is necessary in order to complete construction, a full re-submittal of building plans shall be required which shall include, at a minimum:
  - a. The submittal of a new building permit application, modification of existing construction plans and documents in accordance with the current version of the Florida Building Code in effect at the time of the re-submittal and payment of all fees.
  - b. Full re-submittal includes reevaluation and reappraisal of all construction costs and estimates based on the full value of the work necessary to complete the project.
  - c. A stop work order will be placed on the project until all updated plans and documents are submitted, reviewed and approved by the building official, all fees are paid and the project has been reviewed by the building and zoning committee. Applicants are encouraged to initiate the building and zoning review process with the town in sufficient time to ensure no lapse in construction activity.
  - d. The term of a third renewal permit shall be based on the square footage of the residence at the time of re-submittal.
- (6) Each application for new construction or a major remodel shall include a construction schedule in written or chart format. At a minimum, the construction schedule shall include critical dates, milestones, and inspections from the start of the project until its completion. The construction schedule shall be subject to review and approval by the building and zoning committee. Minor modifications to the schedule (a total of thirty (30) days or less) may be made by the planning and zoning administrator during the course of construction due to emergencies or unforeseen circumstances.

SECTION 2. Chapter 4 BUILDING AND BUILDING REGULATIONS, *Section 4-2. Term of building permits; fill, removal or regrading plans required; plot plan, maximum height certification required*, Subsections (b) through (e) inclusive are unchanged and shall remain in full force and effect as previously enacted.

SECTION 3. Specific authority is hereby granted to codify and incorporate this Ordinance into the existing Code of Ordinances of the Town of Jupiter Inlet Colony, Florida.

SECTION 4. If any clause, section or other part of this Ordinance shall be held by any court of competent jurisdiction to be unconstitutional or invalid, such unconstitutional or invalid



part shall be considered as eliminated and in no way affecting the validity of the other provisions of this Ordinance.

SECTION 5. That all ordinances or parts or ordinances, resolutions or parts of resolutions in conflict hereby, be and the same are hereby repealed to the extent of such conflict.

SECTION 6. This Ordinance shall become effective immediately upon passage and shall apply to all building permits issued after said effective date.

FIRST READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

SECOND READING and FINAL PASSAGE this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

**TOWN OF JUPITER INLET COLONY, FLORIDA**

\_\_\_\_\_  
Mayor Ed Hocevar

\_\_\_\_\_  
Vice Mayor Mark Ciarfella

\_\_\_\_\_  
Commissioner William “Bill” Muir

\_\_\_\_\_  
Commissioner Marie Rosner

\_\_\_\_\_  
Commissioner Sharon Seagren

ATTEST:

\_\_\_\_\_  
Town Clerk



## **PERMIT AND INSPECTION UTILIZATION REPORT**

### **Direct costs incurred by the local government to enforce the Florida Building Code**

Department budget: \$3,389,073.00

Operating expenses: \$2,042,095.00

Balance carried forward 2019: \$47,708.00

Balance carried forward 2020: \$1,346,977.51

### **PERMIT AND INSPECTION UTILIZATION INFORMATION**

Number of permit applications submitted: 1209

Number of permits approved: 1110

Number of inspections requested: 3056

Number of inspections performed: 3056



Lot #	Parcel Number	Owner Address	GIS Acreage	Sq. Ft.
TH	32434030080001973	1 COLONY RD	0.17	7,405
1	32434031010000010	1 OCEAN DR	0.39	16,988
2	32434031010000020	2 OCEAN DR	0.39	16,988
3	32434031010000030	3 OCEAN DR	0.80	34,848
5	32434031010000050	5 OCEAN DR	0.39	16,988
6	32434031010000060	6 OCEAN DR	0.39	16,988
7	32434031010000070	7 OCEAN DR	0.39	16,988
8	32434031010000080	8 OCEAN DR	0.46	20,038
9	32434031010000090	9 OCEAN DR	0.46	20,038
10	32434031010000100	10 OCEAN DR	0.46	20,038
11	32434031010000111	11 OCEAN DR	0.43	18,731
12	32434031010000112	12 OCEAN DR	0.48	20,909
13	32434031010000130	13 OCEAN DR	0.46	20,038
14	32434031010000140	14 OCEAN DR	0.46	20,038
15	32434031010000150	15 OCEAN DR	0.46	20,038
16	32434031010000160	16 OCEAN DR	0.48	20,909
17	32434031010000170	17 OCEAN DR	0.46	20,038
18	32434031010000180	18 OCEAN DR	0.46	20,038
19	32434031010000190	19 OCEAN DR	0.46	20,038
20	32434031010000200	20 OCEAN DR	0.46	20,038
21	32434031010000210	21 OCEAN DR	0.46	20,038
22	32434031010000220	22 OCEAN DR	0.46	20,038
23	32434031010000230	23 OCEAN DR	0.46	20,038
24	32434031010000240	24 OCEAN DR	0.46	20,038
25	32434031010000250	25 OCEAN DR	0.22	9,583
26	32434031010000260	26 OCEAN DR	0.21	9,148
27	32434031010000270	27 OCEAN DR	0.21	9,148
28	32434031010000280	28 OCEAN DR	0.21	9,148
29	32434031010000290	29 OCEAN DR	0.41	17,860
31	32434031010000310	31 OCEAN DR	0.21	9,148
32	32434031010000320	32 OCEAN DR	0.21	9,148
33	32434031010000330	33 OCEAN DR	0.22	9,583
34	32434031010000340	34 OCEAN DR	0.22	9,583
35	32434031010000350	35 OCEAN DR	0.21	9,148
36	32434031010000360	36 OCEAN DR	0.21	9,148
37	32434031010000370	37 OCEAN DR	0.21	9,148
38	32434031010000380	38 OCEAN DR	0.21	9,148
39	32434031010000390	39 OCEAN DR	0.21	9,148
40	32434031010000400	40 OCEAN DR	0.21	9,148
41	32434031010000410	41 OCEAN DR	0.21	9,148
42	32434031010000420	42 OCEAN DR	0.21	9,148
43	32434031010000430	43 OCEAN DR	0.21	9,148
44	32434031010000440	44 OCEAN DR	0.19	8,276
45	32434031010000450	45 OCEAN DR	0.19	8,276
46	32434031010000460	46 OCEAN DR	0.19	8,276
47	32434031010000470	47 OCEAN DR	0.19	8,276
48	32434031010000480	48 OCEAN DR	0.25	10,890
49	32434031010000490	49 OCEAN DR	0.24	10,454
50	32434031010000500	50 COLONY RD	0.23	10,019
51	32434031010000510	51 COLONY RD	0.25	10,890
52	32434031010000520	52 COLONY RD	0.19	8,276
53	32434031010000530	53 COLONY RD	0.39	16,988
55	32434031010000550	55 COLONY RD	0.19	8,276
56	32434031010000560	56 COLONY RD	0.21	9,148



Lot #	Parcel Number	Owner Address	GIS Acreage	Sq. Ft.
57	32434031010000570	57 COLONY RD	0.21	9,148
58	32434031010000580	58 COLONY RD	0.21	9,148
59	32434031010000590	59 COLONY RD	0.21	9,148
60	32434031010000600	60 COLONY RD	0.21	9,148
61	32434031010000610	61 COLONY RD	0.21	9,148
62	32434031010000620	62 COLONY RD	0.21	9,148
63	32434031010000630	63 COLONY RD	0.21	9,148
64	32434031010000640	64 COLONY RD	0.21	9,148
65	32434031010000650	65 COLONY RD	0.22	9,583
66	32434031010000660	66 COLONY RD	0.22	9,583
67	32434031010000670	67 COLONY RD	0.21	9,148
68	32434031010000680	68 COLONY RD	0.21	9,148
69	32434031010000690	69 COLONY RD	0.21	9,148
70	32434031010000700	70 COLONY RD	0.31	13,504
72	32434031010000711	72 COLONY RD	0.31	13,504
73	32434031010000730	73 COLONY RD	0.43	18,731
75	32434031010000750	75 LIGHTHOUSE DR	0.41	17,860
76	32434031010000760	76 LIGHTHOUSE DR	0.40	17,424
77	32434031010000770	77 LIGHTHOUSE DR	0.38	16,553
78	32434031010000780	78 LIGHTHOUSE DR	0.33	14,375
79	32434031010000790	79 LIGHTHOUSE DR	0.32	13,939
80	32434031010000800	80 LIGHTHOUSE DR	0.36	15,682
81	32434031010000811	81 LIGHTHOUSE DR	0.38	16,553
82	32434031010000812	82 LIGHTHOUSE DR	0.36	15,682
83	32434031010000821	83 LIGHTHOUSE DR	0.33	14,375
84	32434031010000840	84 LIGHTHOUSE DR	0.35	15,246
85	32434031010000850	85 LIGHTHOUSE DR	0.44	19,166
86	32434031010000860	86 LIGHTHOUSE DR	0.47	20,473
87	32434031010000870	87 LIGHTHOUSE DR	0.44	19,166
88	32434031010000880	88 LIGHTHOUSE DR	0.50	21,780
89	32434031010000890	89 LIGHTHOUSE DR	0.62	27,007
90	32434031010000900	90 LIGHTHOUSE DR	0.79	34,412
91	32434031010000910	91 LIGHTHOUSE DR	0.83	36,155
92	32434031010000920	92 LIGHTHOUSE DR	0.62	27,007
93	32434031010000930	93 LIGHTHOUSE DR	0.51	22,216
94	32434031010000940	94 LIGHTHOUSE DR	0.48	20,909
95	32434031010000950	95 LIGHTHOUSE DR	0.46	20,038
96	32434031010000960	96 LIGHTHOUSE DR	0.44	19,166
97	32434031010000970	97 LIGHTHOUSE DR	0.43	18,731
98	32434031010000980	98 LIGHTHOUSE DR	0.41	17,860
99	32434031010000990	99 LIGHTHOUSE DR	0.39	16,988
100	32434031010001000	100 LIGHTHOUSE DR	0.38	16,553
101	32434031010001010	101 LIGHTHOUSE DR	0.36	15,682
102	32434031010001020	102 LIGHTHOUSE DR	0.38	16,553
103	32434031010001030	103 LIGHTHOUSE DR	0.36	15,682
104	32434031010001040	104 LIGHTHOUSE DR	0.35	15,246
105	32434031010001050	105 LIGHTHOUSE DR	0.34	14,810
106	32434031010001060	106 LIGHTHOUSE DR	0.32	13,939
107	32434031010001070	107 LIGHTHOUSE DR	0.28	12,197
108	32434031010001080	108 LIGHTHOUSE DR	0.26	11,326
109	32434031010001090	109 LIGHTHOUSE DR	0.26	11,326
110	32434031010001100	110 LIGHTHOUSE DR	0.24	10,454
111	32434031010001110	111 LIGHTHOUSE DR	0.22	9,583
112	32434031010001120	112 LIGHTHOUSE DR	0.22	9,583



Lot #	Parcel Number	Owner Address	GIS Acreage	Sq. Ft.
113	32434031010001130	113 LIGHTHOUSE DR	0.22	9,583
114	32434031010001140	114 LIGHTHOUSE DR	0.22	9,583
115	32434031010001150	115 LIGHTHOUSE DR	0.22	9,583
116	32434031010001160	116 LIGHTHOUSE DR	0.22	9,583
117	32434031010001170	117 LIGHTHOUSE DR	0.22	9,583
118	32434031010001180	118 LIGHTHOUSE DR	0.22	9,583
119	32434031010001190	119 LIGHTHOUSE DR	0.22	9,583
120	32434031010001200	120 LIGHTHOUSE DR	0.22	9,583
121	32434031010001210	121 LIGHTHOUSE DR	0.22	9,583
122	32434031010001220	122 LIGHTHOUSE DR	0.22	9,583
123	32434031010001230	123 LIGHTHOUSE DR	0.24	10,454
124	32434031010001240	124 LIGHTHOUSE DR	0.26	11,326
125	32434031010001250	125 LIGHTHOUSE DR	0.27	11,761
126	32434031010001260	126 LIGHTHOUSE DR	0.27	11,761
127	32434031010001270	127 LIGHTHOUSE DR	0.27	11,761
128	32434031010001280	128 LIGHTHOUSE DR	0.27	11,761
129	32434031010001290	129 LIGHTHOUSE DR	0.24	10,454
130	32434031010001300	130 LIGHTHOUSE DR	0.24	10,454
131	32434031010001310	131 LIGHTHOUSE DR	0.24	10,454
132	32434031010001320	132 LIGHTHOUSE DR	0.26	11,326
133	32434031010001330	133 LIGHTHOUSE DR	0.26	11,326
134	32434031010001340	134 LIGHTHOUSE DR	0.25	10,890
135	32434031010001350	135 LIGHTHOUSE DR	0.25	10,890
136	32434031010001360	136 LIGHTHOUSE DR	0.23	10,019
137	32434031010001370	137 COLONY RD	0.25	10,890
138	32434031010001380	138 BEACON LN	0.48	20,909
139	32434031010001390	139 BEACON LN	0.26	11,326
140	32434031010001400	140 BEACON LN	0.25	10,890
141	32434031010001410	141 BEACON LN	0.26	11,326
142	32434031010001420	142 BEACON LN	0.26	11,326
143	32434031010001430	143 BEACON LN	0.24	10,454
144	32434031010001440	144 BEACON LN	0.24	10,454
145	32434031010001450	145 BEACON LN	0.27	11,761
146	32434031010001460	146 BEACON LN	0.30	13,068
147	32434031010001470	147 BEACON LN	0.30	13,068
148	32434031010001481	148 BEACON LN	0.26	11,326
149	32434031010001490	149 BEACON LN	0.24	10,454
150	32434031010001500	150 BEACON LN	0.22	9,583
151	32434031010001510	151 BEACON LN	0.22	9,583
152	32434031010001520	152 BEACON LN	0.22	9,583
153	32434031010001530	153 BEACON LN	0.22	9,583
154	32434031010001540	154 BEACON LN	0.22	9,583
155	32434031010001550	155 BEACON LN	0.22	9,583
156	32434031010001560	156 BEACON LN	0.22	9,583
157	32434031010001570	157 BEACON LN	0.22	9,583
158	32434031010001580	158 BEACON LN	0.22	9,583
159	32434031010001590	159 BEACON LN	0.22	9,583
160	32434031010001600	160 BEACON LN	0.22	9,583
161	32434031010001610	161 BEACON LN	0.22	9,583
162	32434031010001620	162 BEACON LN	0.24	10,454
163	32434031010001630	163 BEACON LN	0.26	11,326
164	32434031010001640	164 LIGHTHOUSE DR	0.26	11,326
165	32434031010001650	165 BEACON LN	0.24	10,454
166	32434031010001660	166 BEACON LN	0.24	10,454



Lot #	Parcel Number	Owner Address	GIS Acreage	Sq. Ft.
167	32434031010001670	167 BEACON LN	0.22	9,583
168	32434031010001680	168 BEACON LN	0.20	8,712
169	32434031010001690	169 BEACON LN	0.20	8,712
170	32434031010001700	170 BEACON LN	0.21	9,148
171	32434031010001710	171 BEACON LN	0.20	8,712
172	32434031010001720	172 BEACON LN	0.20	8,712
173	32434031010001730	173 BEACON LN	0.20	8,712
174	32434031010001740	174 BEACON LN	0.20	8,712
175	32434031010001750	175 BEACON LN	0.20	8,712
176	32434031010001760	176 BEACON LN	0.20	8,712
177	32434031010001770	177 BEACON LN	0.20	8,712
178	32434031010001780	178 BEACON LN	0.20	8,712
179	32434031010001790	179 BEACON LN	0.20	8,712
180	32434031010001800	180 BEACON LN	0.22	9,583
181	32434031010001810	181 BEACON LN	0.20	8,712
182	32434031010001820	182 BEACON LN	0.18	7,841
183	32434031010001830	183 BEACON LN	0.30	13,068
184	32434031010001840	184 SHELTER LN	0.20	8,712
185	32434031010001850	185 SHELTER LN	0.22	9,583
186	32434031010001860	186 SHELTER LN	0.20	8,712
187	32434031010001870	187 SHELTER LN	0.20	8,712
188	32434031010001880	188 SHELTER LN	0.20	8,712
189	32434031010001890	189 SHELTER LN	0.20	8,712
190	32434031010001900	190 SHELTER LN	0.20	8,712
191	32434031010001910	191 SHELTER LN	0.20	8,712
192	32434031010001920	192 SHELTER LN	0.20	8,712
193	32434031010001930	193 SHELTER LN	0.20	8,712
194	32434031010001940	194 SHELTER LN	0.20	8,712
195	32434031010001951	195 SHELTER LN	0.19	8,276
196	32434031010001960	196 SHELTER LN	0.20	8,712
197	32434031010001970	197 SHELTER LN	0.20	8,712
198	32434031010001980	198 SHELTER LN	0.22	9,583
199	32434031010001990	199 SHELTER LN	0.24	10,454
200	32434031010002000	200 COLONY RD	0.21	9,148
201	32434031010002010	201 COLONY RD	0.19	8,276
202	32434031010002020	202 COLONY RD	0.23	10,019
203	32434031010002030	203 COLONY RD	0.30	13,068
204	32434031010002040	204 SHELTER LN	0.20	8,712
205	32434031010002050	205 COLONY RD	0.20	8,712
206	32434031010002060	206 COLONY RD	0.24	10,454
207	32434031010002070	207 SHELTER LN	0.24	10,454
208	32434031010002080	208 SHELTER LN	0.23	10,019
209	32434031010002090	209 TREASURE PL	0.24	10,454
210	32434031010002100	210 COLONY RD	0.18	7,841
211	32434031010002110	211 COLONY RD	0.23	10,019
212	32434031010002120	212 TREASURE PL	0.19	8,276
213	32434031010002130	213 TREASURE PL	0.19	8,276
214	32434031010002140	214 SHELTER LN	0.19	8,276
215	32434031010002150	215 PIRATES PL	0.22	9,583
216	32434031010002160	216 PIRATES PL	0.23	10,019
217	32434031010002170	217 PIRATES PL	0.23	10,019
218	32434031010002180	218 PIRATES PL	0.23	10,019
219	32434031010002190	219 COLONY RD	0.21	9,148
220	32434031010002200	220 PIRATES PL	0.21	9,148



Lot #	Parcel Number	Owner Address	GIS Acreage	Sq. Ft.
221	32434031010002210	221 PIRATES PL	0.21	9,148
222	32434031010002220	222 PIRATES PL	0.21	9,148
223	32434031010002230	223 PIRATES PL	0.21	9,148
224	32434031010002240	224 SHELTER LN	0.23	10,019
225	32434031010002250	225 COVE PL	0.23	10,019
226	32434031010002260	226 COVE PL	0.23	10,019
227	32434031010002270	227 COVE PL	0.23	10,019
228	32434031010002280	228 COLONY RD	0.25	10,890
229	32434031010002290	229 COLONY RD	0.24	10,454
230	32434031010002300	230 COVE PL	0.22	9,583
231	32434031010002310	231 COVE PL	0.22	9,583
232	32434031010002320	232 COVE PL	0.21	9,148
233	32434031010002330	233 COVE PL	0.21	9,148
234	32434031010002340	234 SHELTER LN	0.22	9,583
235	32434031010002350	235 BEACON LN	0.20	8,712
236	32434031010002360	236 BEACON LN	0.23	10,019
237	32434031010002370	237 BEACON LN	0.24	10,454
238	32434031010002380	238 BEACON LN	0.25	10,890
239	32434031010002390	239 BEACON LN	0.25	10,890
240	32434031010002400	240 COLONY RD	0.23	10,019
241	32434031100002410	241 OCEAN DR	0.50	21,780
242	32434031100002420	242 OCEAN DR	0.50	21,780
243	32434031100002430	243 OCEAN DR	0.50	21,780
BC	32434031100002440	244 OCEAN DR	2.79	121,532



VILLAGE OF TEQUESTA  
(MEDIUM DENSITY)

# FUTURE LAND USE -2012 & 2017-



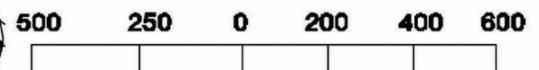
## LEGEND

- SINGLE FAMILY LOW DENSITY RESIDENTIAL  
(.0-5 DU'S/AC.)
- CONSERVATION
- RECREATION AND OPEN SPACE
- PUBLIC BUILDINGS AND GROUNDS
- WATER BODIES
- VACANT
- CORPORATE LIMITS

## JUPITER INLET COLONY

Note: The entire Town of Jupiter Inlet Colony is located within the Coastal High Hazard Area (CHHA) which is defined as "the area below the elevation of a Category 1 storm surge line as established by a Sea, Lake and Overland Surges from Hurricanes (SLOSH) computerized storm surge model".

FIGURE 2  
SOURCE: TOWN OF JUPITER INLET COLONY + JLH. ASSOCIATES 12/07







# ***TOWN OF JUPITER INLET COLONY***

***A MUNICIPAL CORPORATION***

## **TOWN OF JUPITER INLET COLONY BUILDING AND ZONING COMMITTEE MEETING SEPTEMBER 21, 2023**

### **WORKSHOP MINUTES**

1. Call to Order. Earl Fischer, Chair called the workshop to order at 5:03 pm

2. Roll Call:

Earl Fischer (Chair), Present

Russell Bourne (Vice Chair), Present

Butch Harper, Present

William Gilbane, on the phone

Brad Eavenson, Absent

Roger Siboni, Absent

Bill Muir, Present

Planning and Zoning Administrator: Bill Whiteford – Present

Also in attendance: Sherry Karas, 137 Colony Rd.

3. Public Comments - items not on the agenda (3 minutes).

Sherry Karas: Had a question about new builds and major renovations, do we need to bring everything up to code? Bill offered an explanation for the committee. Mrs. Karas suggested that as a community we should have it established that with new/major construction everything is brought up to code. Discussion on maintaining fences, etc. that have degraded.

4. Discussion Item:

A. Permit Fees and Extensions, Ordinance 2019-07 (continued from 08-17-2023)

Bill Whiteford reviewed the Building Permit Fees and Extensions Municipal Comparison, and how to structure fees. Butch Harper asked if there is a way to eliminate the Final Cost Affidavit by requiring a higher cost per square foot when the permit application is submitted to the Town.

### **STATE MANDATED STATEMENT**

If a person decides to appeal any decision made by the board, agency, or Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Administration Office, Administration Building, 50 Colony Road, Jupiter Inlet Colony, and FL 33469 - telephone 746-3787.





## ***TOWN OF JUPITER INLET COLONY***

***A MUNICIPAL CORPORATION***

Committee discussion on this, Bill Whiteford mentioned the report that the Town Accountant is producing that would show how much we are collecting and to ensure that we do not have an excessive surplus. Further discussion on fees, how the money is allocated.

The Chair, Earl Fischer led the Committee in a line-item discussion on the revisions to Resolution 2019-07 as follows:

### **PERMIT FEES / PERMIT EXTENSIONS - PROPOSED REVISIONS TO RESOLUTION 2019-07**

1. PERMIT FEES – Unanimous Agreement
  - a. New Construction: \$650.00 per sf. Fees: 3% of construction cost.
  - b. Existing Structure or Building, Exterior Remodel or Rebuild: \$450.00 per sf. Fees: 3% of construction cost.
  - c. Existing Structure or Building, Interior Renovation: \$250.00 per sf. Fees: 3% of construction cost.

### **2. TIME TO COMPLETE CONSTRUCTION – Unanimous Agreement after discussion on changes.**

- a. NEW CONSTRUCTION
  - 4,000 sf and under – ~~12~~ months – 15 months
  - 4,001 sf and over – ~~18~~ months – 20 months
- b. REMODEL OR REBUILD
  - Remodel or rebuild – 12 months
- c. PERMIT EXTENSIONS
  - 1st Extension: ~~6~~ months; 3% of cost to complete work – 3 months
  - 2nd Extension: ~~6~~ months; 3% of original permit – 3 months
  - 3<sup>rd</sup> Extension: Full Fee Renewal; 6 months

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**TOWN OF JUPITER INLET COLONY**  
A MUNICIPAL CORPORATION

3. PERMIT APPLICATIONS – Unanimous Agreement after discussion on changes.

- a. At time of application, builder shall submit a detailed construction schedule of phase and times to complete project on time. Bill Gilbane suggested a critical path measure.
- b. Updates on construction to be monitored by the Town Building Official.
- c. Town to notify builder/contractor of record and property owner 45 days prior to the expiration date of an active permit. Butch Harper suggested that notification be sent by registered mail.
- d. Builder and property owner should determine in advance who is responsible for payment of all fees, including permit extension fees and change orders to the Town.
- e. Any fees not paid prior to the expiration date of a permit will result in a Stop Work Order issued by the Town Building Official. – check with Buck
- f. No CO, temporary CO, CC, or right to occupy a building or utilize a structure shall be issued by the Town Building Official until all outstanding fees are paid to the Town. Discussion on time limit for TCO.
- g. Homes constructed on pilings are subject to special review by the Building and Zoning Committee. Additional time to complete construction may be allotted by the Committee on a case-by-case basis.

4. Any Other Matters. None.

5. The Chair, Earl Fischer, called for a Motion to Adjourn. Butch Harper moved to adjourn, motion was seconded by Bill Muir, motion carried unanimously 5-0, and the meeting adjourned at 6:17 p.m.

Approved,

Attest,

\_\_\_\_\_  
Earl Fischer, Chair

\_\_\_\_\_  
Kathi Cornelius, Deputy Town Clerk

STATE MANDATED STATEMENT

If a person decides to appeal any decision made by the board, agency, or Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Administration Office, Administration Building, 50 Colony Road, Jupiter Inlet Colony, and FL 33469 - telephone 746-3787.



*The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above*



210'

BENCHMARK -  
MAG NAIL AND  
DISK EL.=10.71  
NAVD

LIGHTHOUSE DR.

ROOF PEAK EL.=42.59  
THRESHOLD EL.=18.11

**FLOOD ZONE:** This property is located in Flood Zone VE (EL 10), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0179F, dated 10/05/2017.

**NOTES:**

1. No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
2. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted and are based upon N.A.V.D. 1988.
3. Description furnished by client or client's agent.
4. Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
5. This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. This survey is not transferable by Owners Affidavit of Survey or similar instrument.
6. Except as shown, underground and underground improvements are not located. Underground foundations not located.
7. The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
8. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
9. Revisions shown hereon do not represent a "survey update" unless otherwise noted.
10. All dates shown within the revisions block hereon are for interference filing use only and in no way affect the date of the field survey stated herein.
11. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
12. It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
13. The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
14. The expected horizontal accuracy of the information shown hereon is +/- 0.10'.
15. Distances shown hereon are ground unless shown otherwise. The scale factor from ground to grid is 1.000052136.
16. Coordinates shown hereon are based upon Datum - NAD 83 1999 adjustment, Zone - Florida East, Linear Unit - US Traverse Mercator Projection.
17. This survey falls within the urban category as classified in Chapter 5J-17.051, 5J-17.052, Florida Administrative Code. All field measurements exceeded the accuracy requirements for this classification.
18. The real-time GPS positional information shown hereon was collected with a Topcon Hiperite System. The information was translated to conform to the Coastal Construction Control Line, permanent reference monuments as recorded in Plat Book 80, Page 137, Public Records of Palm Beach County, Florida. The horizontal positional accuracy was plus/minus 0.07 of a foot based upon the published information for the permanent reference monuments.

Craig L. Wallace  
Professional Surveyor and Mapper  
Florida Certificate No. 3357

REVISIONS


02/02/24 ADJACENT ROOF HEIGHTS B.W./M.B. J105/52  
 01/03/24 LOCATE ADJACENT RESIDENCE C.E./M.B. 23-1247.3 J105/48

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# BOUNDARY SURVEY FOR:

## 20 OCEAN DRIVE LLC

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### WALLACE

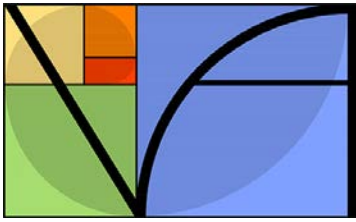
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### SURVEYING

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FIELD	B.M.	JOB NO.	23-1247.1	F.B.	J106	PG. 21
OFFICE	C.W.	DATE:	6/17/23	DWG. NO.	23-1247	
C/K'D	M.B.	REF.	23-1247.DWG	SHEET	1	OF 3





## VILLAGE ARCHITECTS AIA

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3-5-24

Jupiter Inlet Colony Plan Review

Re: Resubmittal of the Aiello residence

Below is a list of plan changes and the revised sheets

### **SP1 - Site Plan**

- Revised motorcourt
- Revised Summer Kitchen
- Revised pool patio
- Revise Lot coverage and square footage calculations

### **A1 – First Floor plan**

- Extended the Summer Kitchen eastward approx. 8'
- Removed the stairs down to the now removed basement
- Added storage mezzanines in both garages

### **A2 – Second Floor Plan**

- Extended the open balcony off of Guest Suite #2 approx 8' to match the change below to the summer kitchen

**All A-sheets from this point on have been renumbered as the previous A3 sheet with the basement has been removed**

### **A3 – Roof Plan**

- Extended the open balcony off of Guest Suite #2 approx 8' to match the change below to the summer kitchen

### **A4 – Front and Rear Elevations**

#### **Front Elevation**

- The dashed outline of the stairs down to the basement has been removed

### **A5 – Left and Right elevations**

#### **Left Elevation**

- The summer kitchen and open balcony above have been extended approx 8' eastward. A new upper window has been placed in the space as well.

### **A6– Building Sections**

- The basement has been removed from sections A and B

### **A7 – Building Sections**

- The summer kitchen and open balcony above have been extended approx 8' eastward.

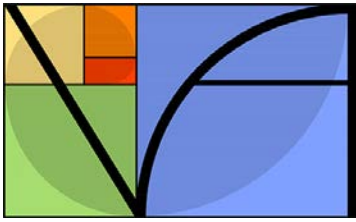
### **A9 – Details**

- The basement details have been removed from details 4/A9 and 5/A9

### **A10 – Details**

- A Storage Mezzanine has been added to the garage details. Detail 10/A10 has been omitted.





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### **A11 – Details**

- Summer kitchen detail 14/A11 has been modified to reflect the change to the summer kitchen and open balcony.

### **A12 – Details**

- Main stair detail 16/A12 has been revised to remove the basement from the detail.

### **A13 – Details**

- A new storage mezzanine has been added at garage #2

### **A14 – Details**

- Stair detail 19/A14 has been revised to remove the stairs down to the basement.

### **A15 – Details**

- A new storage mezzanine has been added at garage #1

### **E1 – First Floor Electrical Plan**

- Extended the Summer Kitchen eastward approx. 8' and reconfigured the lighting in the summer kitchen.

### **E2 – Second Floor Electrical Plan**

- Extended the open balcony off of Guest Suite #2 approx 8' to match the change below to the summer kitchen and added an additional step light.

### **E3– Electric Schedules**

- Previously the basement electric plan, sheet E3 is now the Electrical Schedules.

### **S1 – Grade Beam and Pile plan**

- Previously the basement structural sheet, sheet S1 is now the grade beam and pile plan for the first floor structure.

### **S2 – 1<sup>st</sup> Floor wall reinforcement plan**

- Extended the Summer Kitchen eastward approx. 8'
- Removed the stairs down to the now removed basement
- Provided structure for the newly added storage mezzanines in both garages

### **S3 – Lower Framing Plan**

- Extended the Summer Kitchen eastward approx. 8'
- Provided structure for the newly added storage mezzanines in both garages

### **S4 – 2<sup>nd</sup> Floor Wall Reinf Plan**

- Extended the open balcony off of Guest Suite #2 approx 8' to match the change below to the summer kitchen



# AIELLO RESIDENCE SHEET INDEX

## ARCHITECTURAL DRAWINGS

- SP1: SITE PLAN, AREA CALCS
- SP2: SITE PLAN, CONT.
- A1: FIRST FLOOR PLAN
- A2: SECOND FLOOR PLAN
- A3: ROOF PLAN
- A4: FRONT AND REAR ELEVATIONS
- A5: LEFT AND RIGHT ELEVATIONS
- A6: BUILDING SECTIONS
- A7: PARTIAL ELEVATIONS
- A8: DETAILS
- A9: DETAILS
- A10: DETAILS
- A11: DETAILS
- A12: DETAILS
- A13: DETAILS
- A14: DETAILS
- A15: DETAILS
- A16: DOOR AND WINDOW SCHEDULES
- M1: MECHANICAL FIRST FLOOR PLAN
- M2: MECHANICAL SECOND FLOOR PLAN
- M3: MECHANICAL SPECS AND NOTES
- M4: MECHANICAL DETAILS
- E1: ELECTRICAL FIRST FLOOR PLAN
- E2: ELECTRICAL SECOND FLOOR PLAN
- E3: ELECTRICAL SCHEDULES AND NOTES
- P1: SANITARY ISO, PLUMBING SPECS AND DETAILS
- S1: FIRST FLOOR GRADE BEAM AND PILE PLAN
- S2: FIRST FLOOR WALL REINFORCEMENT PLAN
- S3: LOWER FRAMING PLAN
- S4: 2ND FLOOR WALL REINF PLAN
- S5: UPPER FRAMING PLAN
- S6: STRUCTURAL DETAILS
- S7: STRUCTURAL DETAILS
- TT: SITE WALL PLANS AND FOUNDATION
- TT1: UPPER TRUSS PLAN

## SQUARE FOOTAGE CALCULATIONS

AIR CONDITIONED AREA		
FIRST FLOOR AREA	3,674	SQ. FT.
SECOND FLOOR AREA	3,160	SQ. FT.
TOTAL A/C AREA	6,834	SQ. FT.
NON AIR CONDITIONED AREA		
GARAGE #1	802	SQ. FT.
GARAGE #2	400	SQ. FT.
FRONT ENTRY	62	SQ. FT.
COVERED LANAI	117	SQ. FT.
SUMMER KITCHEN	961	SQ. FT.
COVERED PORCH	133	SQ. FT.
COVERED BALCONIES	459	SQ. FT.
TOTAL NON A/C AREA	2,934	SQ. FT.
TOTAL AREA	9,768	SQ. FT.
LOT AREA	19,884	SQ. FT.

## DOCUMENT QUALIFICATION

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## PARTIAL LEGAL DESCRIPTION

LOT 20, JUPITER INLET BEACH COLONY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 139, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

REFER TO THE SURVEY FOR FULL LEGAL DESCRIPTION

THIS PROPERTY LINES WITHIN FLOOD ZONE VE (EL 10) ACCORDING TO F.I.R.M. No. 12099C0179F, DATED 10-5-2017

LOT AREA: 19,884 SF

## SITE NOTES:

1. VERIFY LOCATION OF UTILITIES WITH SUBDIVISION BEFORE PROCEEDING WITH WORK.
2. DRAINAGE TO BE INDICATED ON LANDSCAPE PLAN.
3. CONNECTION INSPECTION OF UTILITIES REQUIRED PRIOR TO BACKFILL
4. CONTRACTOR TO HAVE CERTIFIED FLORIDA SURVEYOR LAYOUT BUILDING ON LOT TO ASSURE THAT NO SETBACKS OR EASEMENTS ARE ENCROACHED
5. CONTRACTOR SHALL PROVIDE SOIL BORING TEST AND DEMUCK AND REPAK SOIL AS REQUIRED.
6. CONTRACTOR TO PROVIDE (1) 4" AND (1) 6" PVC SLEEVE UNDER DRIVEWAY

## DESIGN CODES:

- FLORIDA BUILDING CODE 8TH EDITION (2023)
- FBC EC FLORIDA BUILDING CODE ENERGY CONSERVATION 8TH EDITION (2023)
- FBC RE FLORIDA RESIDENTIAL CODE 8TH EDITION (2023)
- FBC MECHANICAL 8TH EDITION (2023)
- FBC PLUMBING 8TH EDITION (2023)
- NFPA 70 NEC 2020 EDITION, NATIONAL ELECTRICAL CODE
- FS FLORIDA STATUTES

LOT OCCUPANCY — EXISTING		
LOT AREA	19,884	SQ. FT.
HOUSE FOOTPRINT—ENCLOSED	3,837	SQ. FT.
FRONT COVERED ENTRY	0	SQ. FT.
COVERED PATIOS	560	SQ. FT.
DRIVEWAY, PARKING AREAS	1,853	SQ. FT.
EQUIPMENT PADS OVER 100 S.F.	0	SQ. FT.
UNDER EAVES GREATER THAN 24"	0	SQ. FT.
UNDER BREEZEWAYS	0	SQ. FT.
WALKS AND STEPPING STONES	0	SQ. FT.
POOL	355	SQ. FT.
POOL DECK	1730	SQ. FT.
BOUNDARY WALLS	0	SQ. FT.
SEAWALLS	0	SQ. FT.
DUNE CROSSOVER	170	SQ. FT.
OTHER HARDSCAPE (RETAIN, EQUIP WALLS)	80	SQ. FT.
TOTAL LOT OCCUPANCY AREA	8,585	SQ. FT.
EXISTING LOT OCCUPANCY	43.18%	
MAX ALLOWABLE LOT OCCUPANCY	9,942	50.0%

LOT OCCUPANCY — PROPOSED		
LOT AREA	19,884	SQ. FT.
HOUSE FOOTPRINT—ENCLOSED	4,887	SQ. FT.
FRONT COVERED ENTRY	62	SQ. FT.
COVERED PATIOS	1,200	SQ. FT.
DRIVEWAY, PARKING AREAS	1,661	SQ. FT.
EQUIPMENT PADS OVER 100 S.F.	0	SQ. FT.
UNDER EAVES GREATER THAN 24"	27	SQ. FT.
UNDER BREEZEWAYS	0	SQ. FT.
WALKS AND STEPPING STONES	0	SQ. FT.
POOL	939	SQ. FT.
POOL DECK	1,008	SQ. FT.
BOUNDARY WALLS	0	SQ. FT.
SEAWALLS	0	SQ. FT.
DUNE CROSSOVER	47	SQ. FT.
OTHER HARDSCAPE (RETAINING WALLS)	108	SQ. FT.
TOTAL LOT OCCUPANCY AREA	9,937	SQ. FT.
PROPOSED LOT OCCUPANCY	47.97%	
MAX ALLOWABLE LOT OCCUPANCY	9,942	50.0%

## BUILDING LOT COVERAGE

LOT AREA		
LOT AREA	19,884	SQ. FT.
FIRST FLOOR		
FIRST FLOOR AIR CONDITIONED AREA	3,674	SQ. FT.
GARAGES	1,202	SQ. FT.
COVERED ENTRY	62	SQ. FT.
UNDER EAVES GREATER THAN 24"	89	SQ. FT.
COVERED PATIOS	1,200	SQ. FT.
COVERED CARPORTS	0	SQ. FT.
SECOND FLOOR		
SECOND FLOOR AIR CONDITIONED AREA	3,160	SQ. FT.
COVERED BALCONIES	270	SQ. FT.
TOTAL BUILDING AREA	9,686	SQ. FT.
FLOOR AREA PERCENTAGE CALCULATIONS		
TOTAL 1st FLOOR LOT PERCENTAGE	6,256	31.46%
TOTAL 2nd FLOOR LOT PERCENTAGE	3,430	18.19%
TOTAL 1st AND 2nd FL LOT PERCENTAGE	9,686	48.71%
2nd FL PERCENTAGE OF 1st FLOOR	54.83%	



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2-5-24 ARB REVIEW  
2-27-24 Owner Changes

Sheet Title:

SITE PLAN

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1" = 10'-0"

Comm. :

23-034

Drawn :

CRA

Checked :

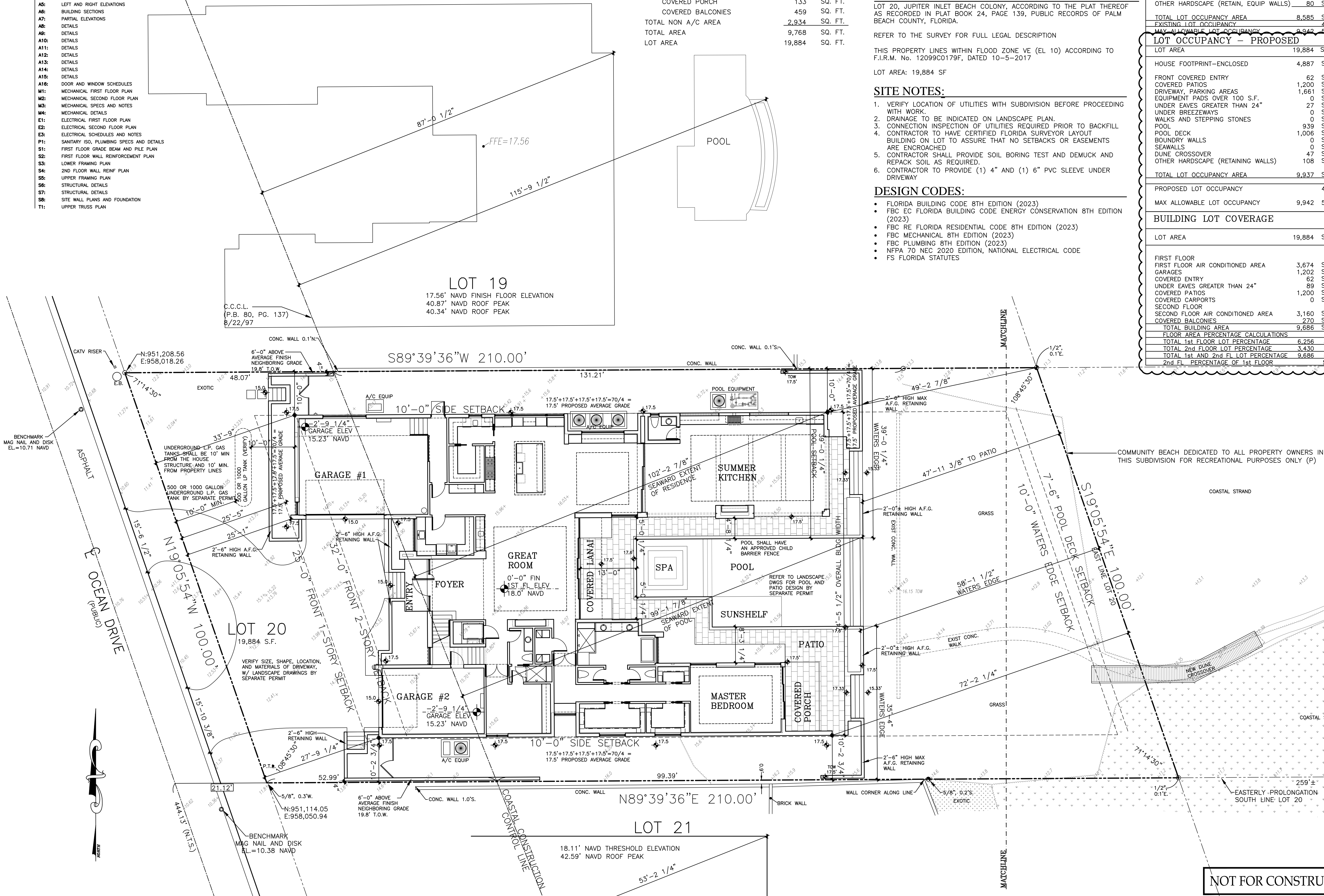
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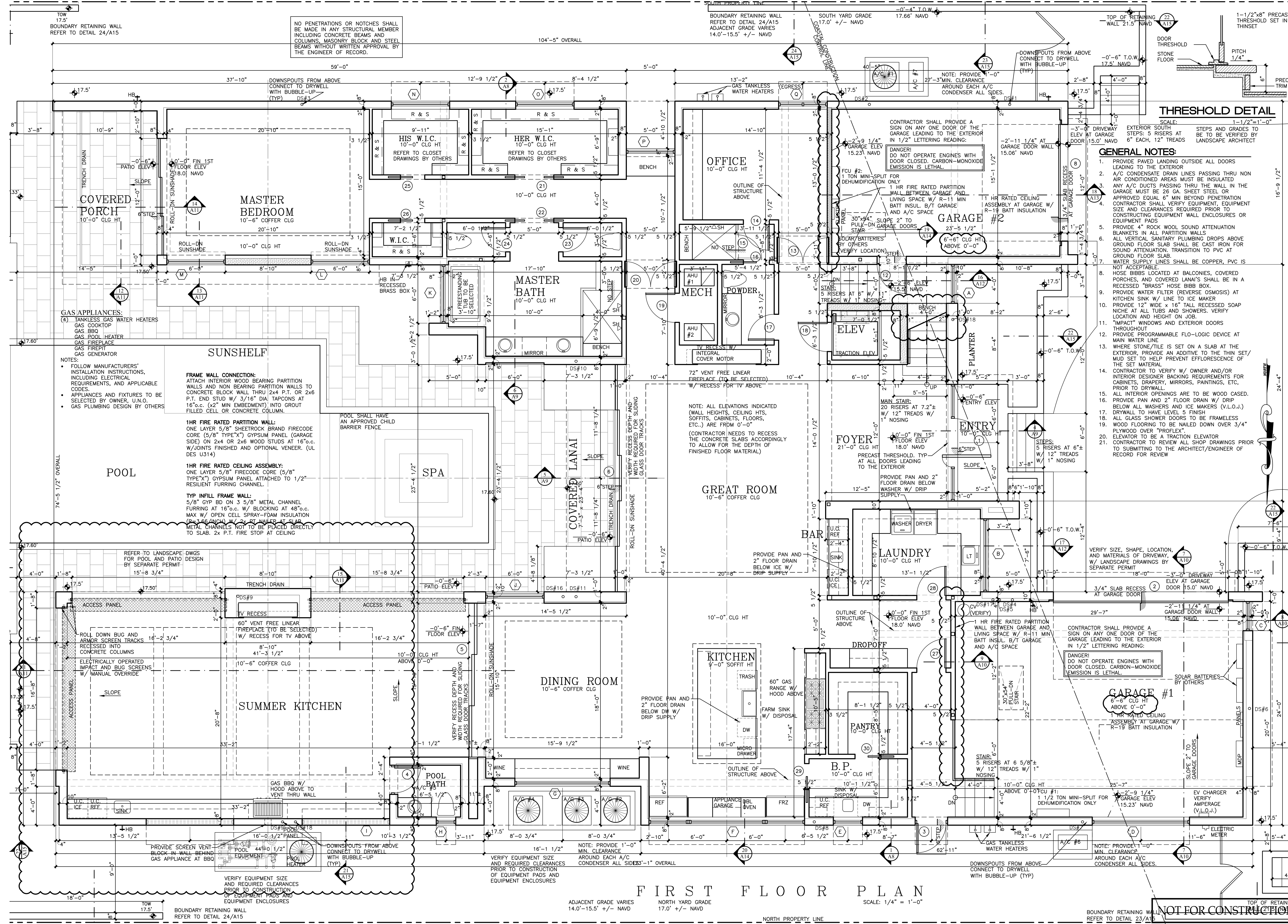
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2-27-24 Owner Changes

Sheet Title:  
**FIRST FLOOR PLAN**

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Comm.: 23-034 Date: 9-18-23  
Drawn: CRA Checked: MEM

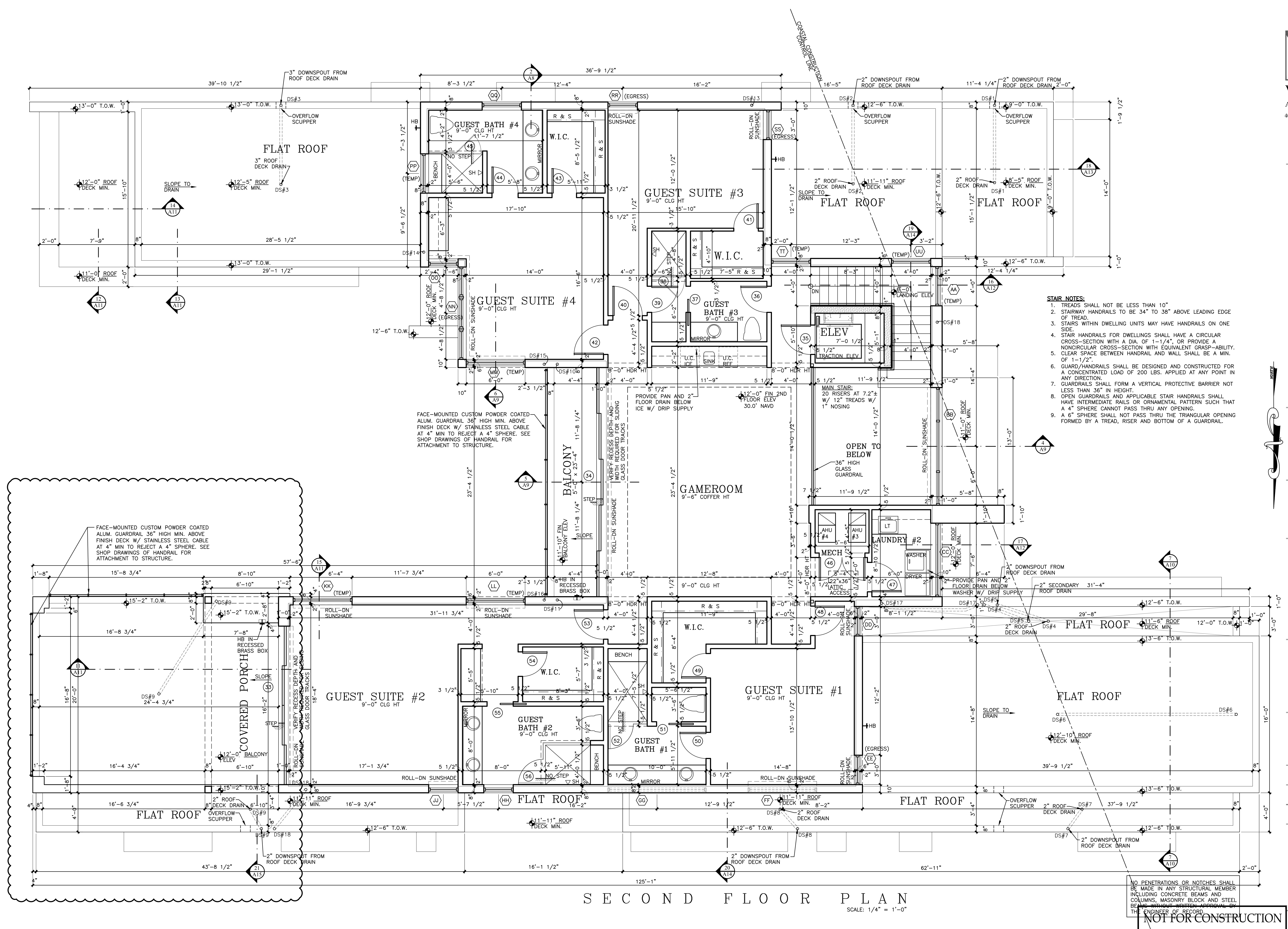
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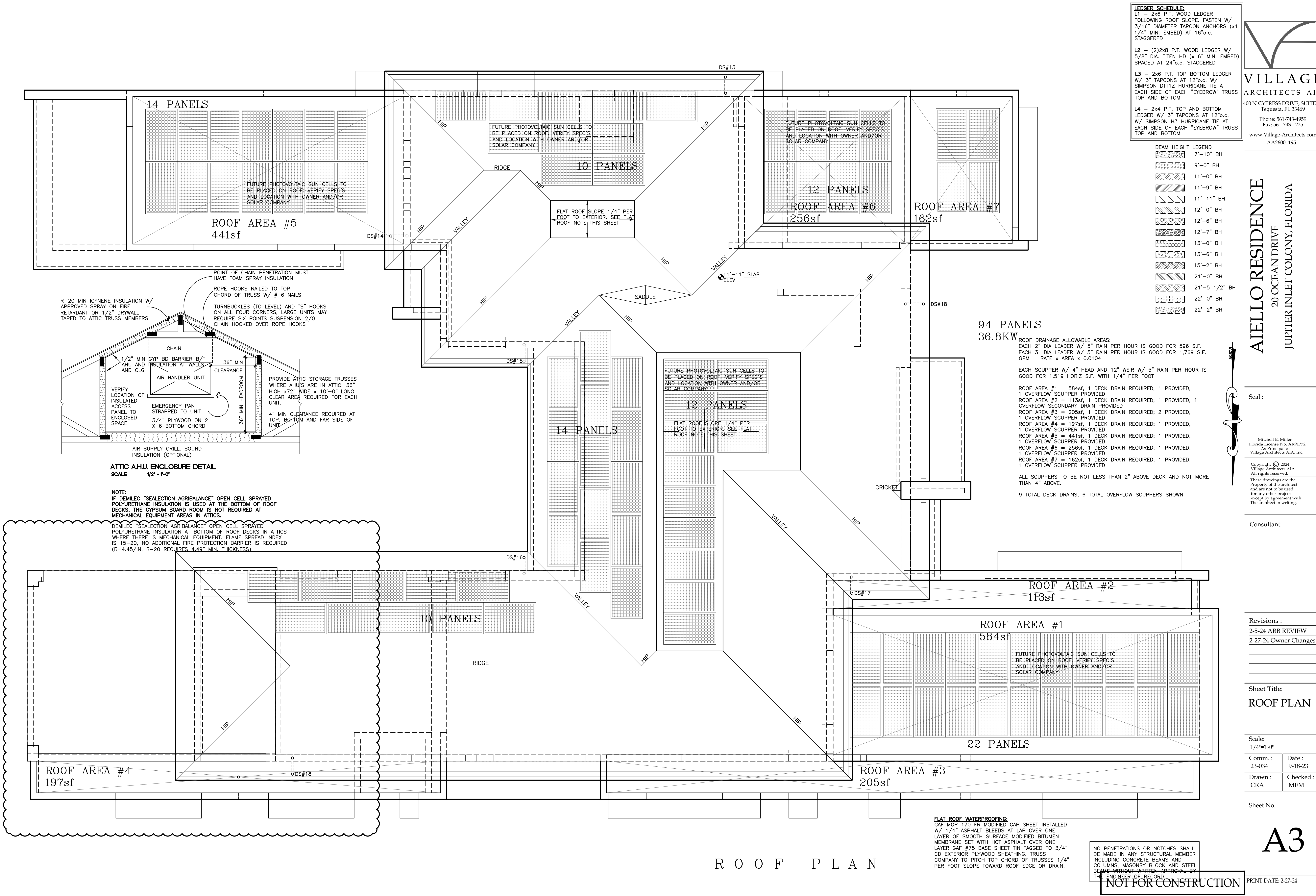




## PRINT DATE: 2-27-24







**LEDGER SCHEDULE:**

**L1** - 2x6 P.T. WOOD LEDGER FOLLOWING ROOF SLOPE. FASTEN W/ 3/16" DIAMETER TAPCON ANCHORS (x1 1/4" MIN. EMBED) AT 16"o.c. STAGGERED

**L2** - (2)2x8 P.T. WOOD LEDGER W/ 5/8" DIA. TITEN HD (x 6" MIN. EMBED) SPACED AT 24"o.c. STAGGERED

**L3** - 2x6 P.T. TOP BOTTOM LEDGER W/ 3" TAPCONS AT 12"o.c. W/ SIMPSON DTT12 HURRICANE TIE AT EACH SIDE OF EACH "EYEBROW" TRUSS TOP AND BOTTOM

**L4** - 2x4 P.T. TOP AND BOTTOM LEDGER W/ 3" TAPCONS AT 12"o.c. W/ SIMPSON H3 HURRICANE TIE AT EACH SIDE OF EACH "EYEBROW" TRUSS TOP AND BOTTOM

**BEAM HEIGHT LEGEND**

[Pattern]	7'-10" BH
[Pattern]	9'-0" BH
[Pattern]	11'-0" BH
[Pattern]	11'-9" BH
[Pattern]	11'-11" BH
[Pattern]	12'-0" BH
[Pattern]	12'-6" BH
[Pattern]	12'-7" BH
[Pattern]	13'-0" BH
[Pattern]	13'-6" BH
[Pattern]	15'-2" BH
[Pattern]	21'-0" BH
[Pattern]	21'-5 1/2" BH
[Pattern]	22'-0" BH
[Pattern]	22'-2" BH

**ROOF DRAINAGE ALLOWABLE AREAS:**  
EACH 2" DIA LEADER W/ 5" RAIN PER HOUR IS GOOD FOR 596 S.F.  
EACH 3" DIA LEADER W/ 5" RAIN PER HOUR IS GOOD FOR 1,769 S.F.  
GPM = RATE x AREA x 0.0104

EACH SCUPPER W/ 4" HEAD AND 12" WEIR W/ 5" RAIN PER HOUR IS GOOD FOR 1,519 HORIZ S.F. WITH 1/4" PER FOOT

ROOF AREA #1 = 584sf, 1 DECK DRAIN REQUIRED; 1 PROVIDED, 1 OVERFLOW SCUPPER PROVIDED  
ROOF AREA #2 = 113sf, 1 DECK DRAIN REQUIRED; 1 PROVIDED, 1 OVERFLOW SECONDARY DRAIN PROVIDED  
ROOF AREA #3 = 205sf, 1 DECK DRAIN REQUIRED; 2 PROVIDED, 1 OVERFLOW SCUPPER PROVIDED  
ROOF AREA #4 = 197sf, 1 DECK DRAIN REQUIRED; 1 PROVIDED, 1 OVERFLOW SCUPPER PROVIDED  
ROOF AREA #5 = 441sf, 1 DECK DRAIN REQUIRED; 1 PROVIDED, 1 OVERFLOW SCUPPER PROVIDED  
ROOF AREA #6 = 256sf, 1 DECK DRAIN REQUIRED; 1 PROVIDED, 1 OVERFLOW SCUPPER PROVIDED  
ROOF AREA #7 = 162sf, 1 DECK DRAIN REQUIRED; 1 PROVIDED, 1 OVERFLOW SCUPPER PROVIDED

ALL SCUPPERS TO BE NOT LESS THAN 2" ABOVE DECK AND NOT MORE THAN 4" ABOVE.

9 TOTAL DECK DRAINS, 6 TOTAL OVERFLOW SCUPPERS SHOWN

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2-5-24 ARB REVIEW  
2-27-24 Owner Changes

Sheet Title:  
**ROOF PLAN**

Scale:  
1/4"=1'-0"

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Sheet No.

**A3**

PRINT DATE: 2-27-24

ROOF PLAN

**FLAT ROOF WATERPROOFING:**  
GAF MOP 170 FR MODIFIED CAP SHEET INSTALLED W/ 1/4" ASPHALT BLEEDS AT LAP OVER ONE LAYER OF SMOOTH SURFACE MODIFIED BITUMEN MEMBRANE SET WITH HOT ASPHALT OVER ONE LAYER GAF #75 BASE SHEET TIN TAGGED TO 3/4" CD EXTERIOR PLYWOOD SHEATHING. TRUSS COMPANY TO PITCH TOP CHORD OF TRUSSES 1/4" PER FOOT SLOPE TOWARD ROOF EDGE OR DRAIN.

NO PENETRATIONS OR NOTCHES SHALL BE MADE IN ANY STRUCTURAL MEMBER INCLUDING CONCRETE BEAMS AND COLUMNS, MASONRY BLOCK AND STEEL BEAMS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

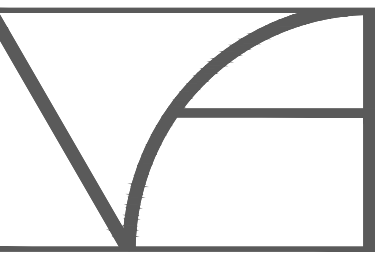
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2-5-24 ARB REVIEW

2-27-24 Owner Changes

Sheet Title:

LEFT AND  
RIGHT  
ELEVATIONS

Scale:

1/4"=1'-0"

Comm. :

23-034

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CRA

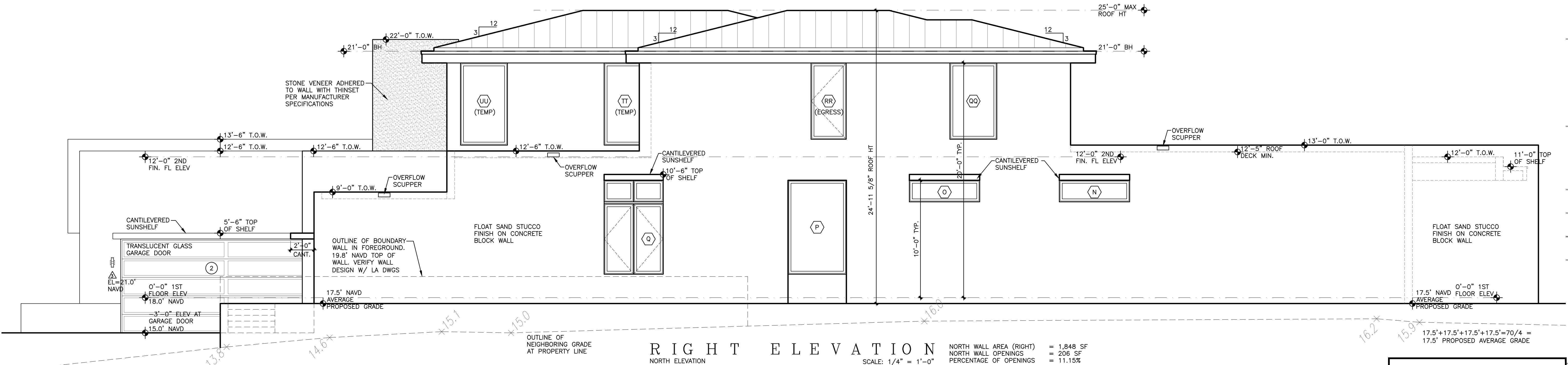
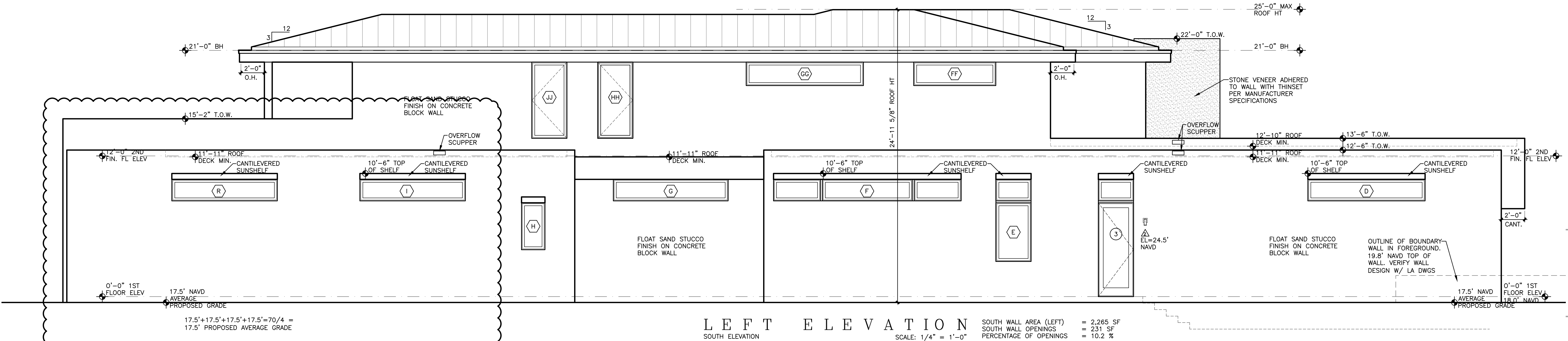
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A5

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## Revisions

2-5-24 ARB REVIEW

## 2-27-24 Owner Changes

Sheet Title

BUILDING  
SECTIONS

Scale

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23-034

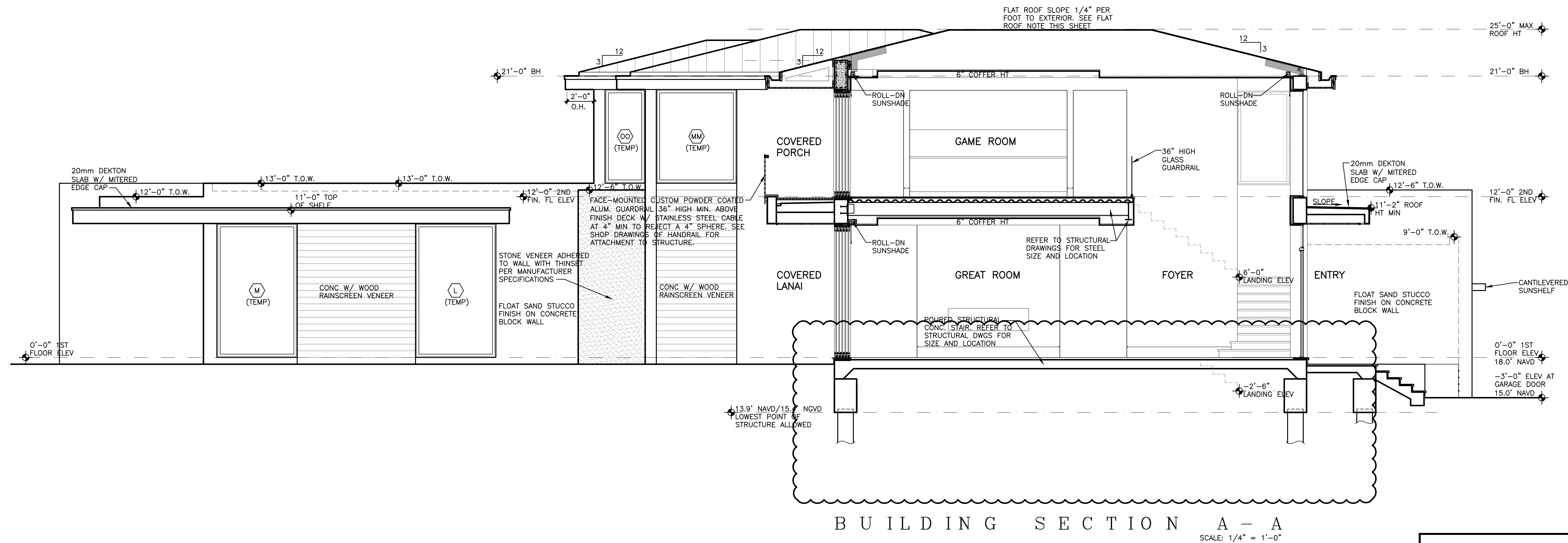
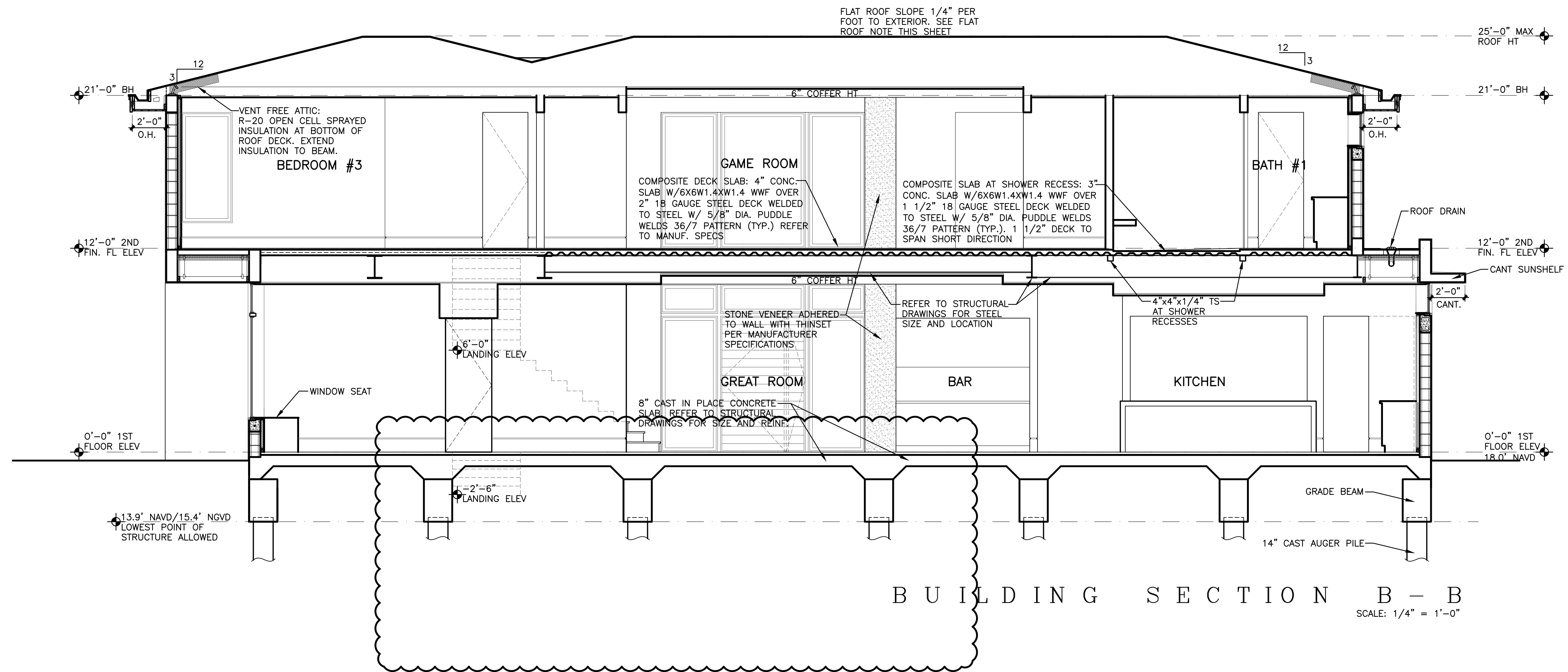
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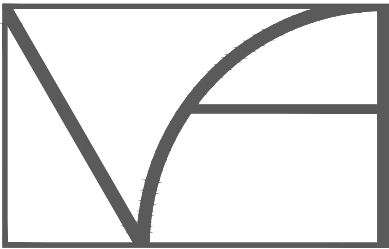
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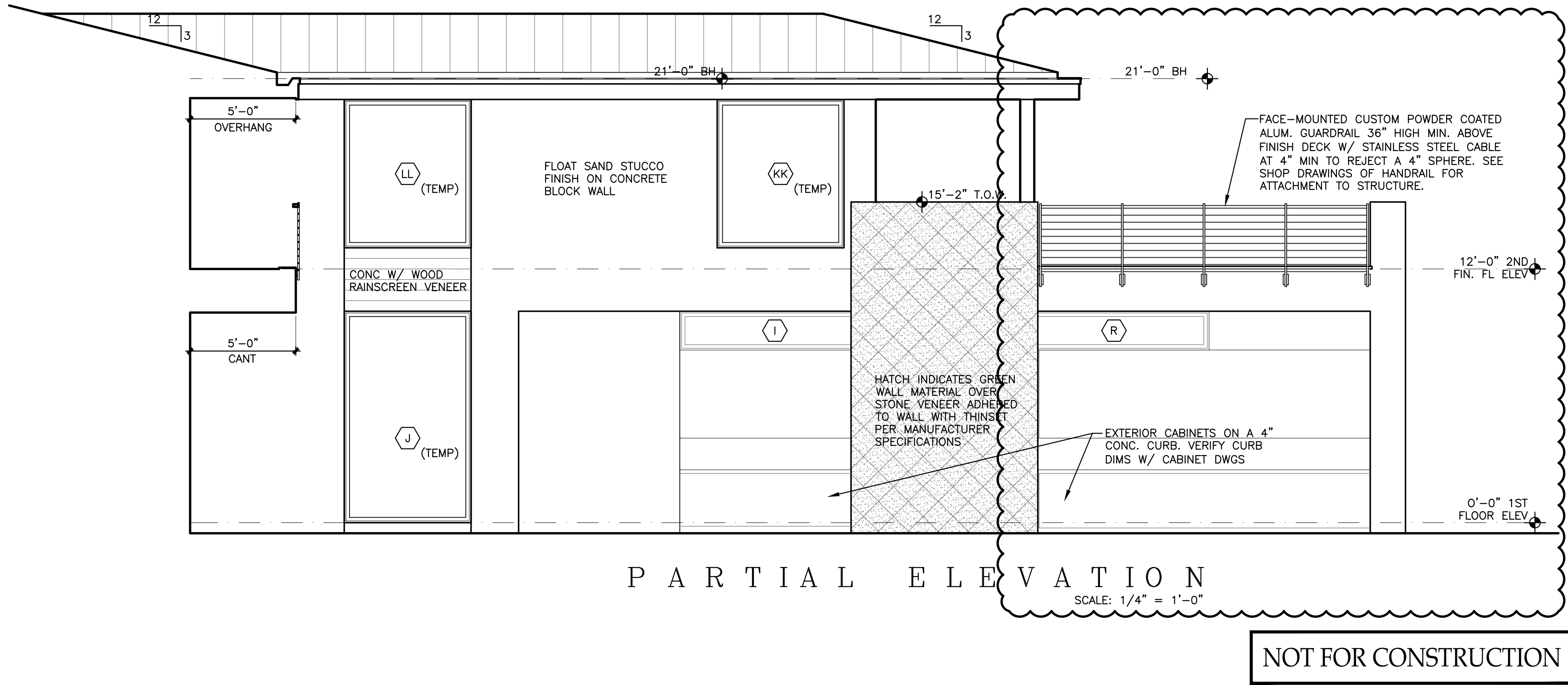
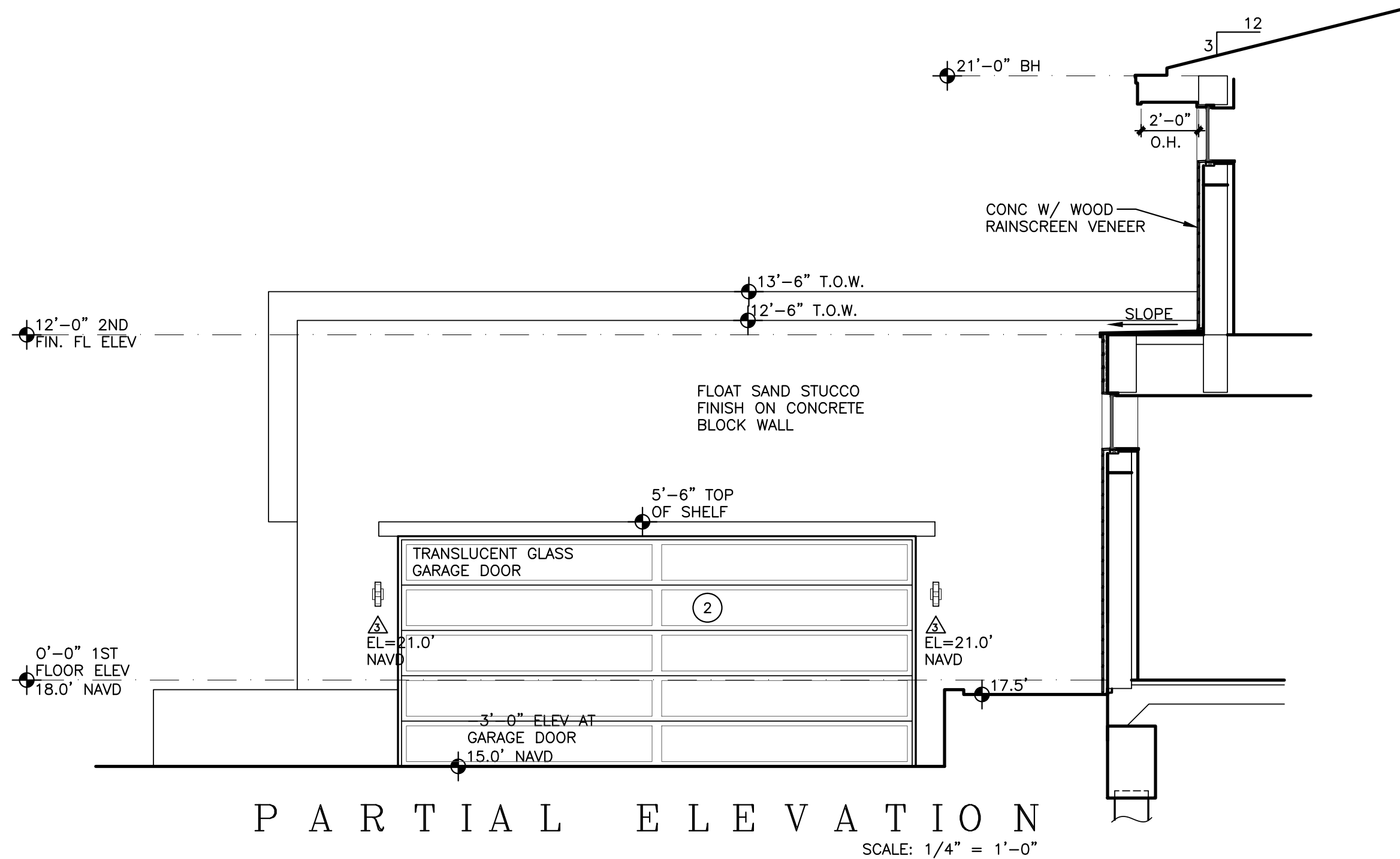
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2-27-24 Owner Changes

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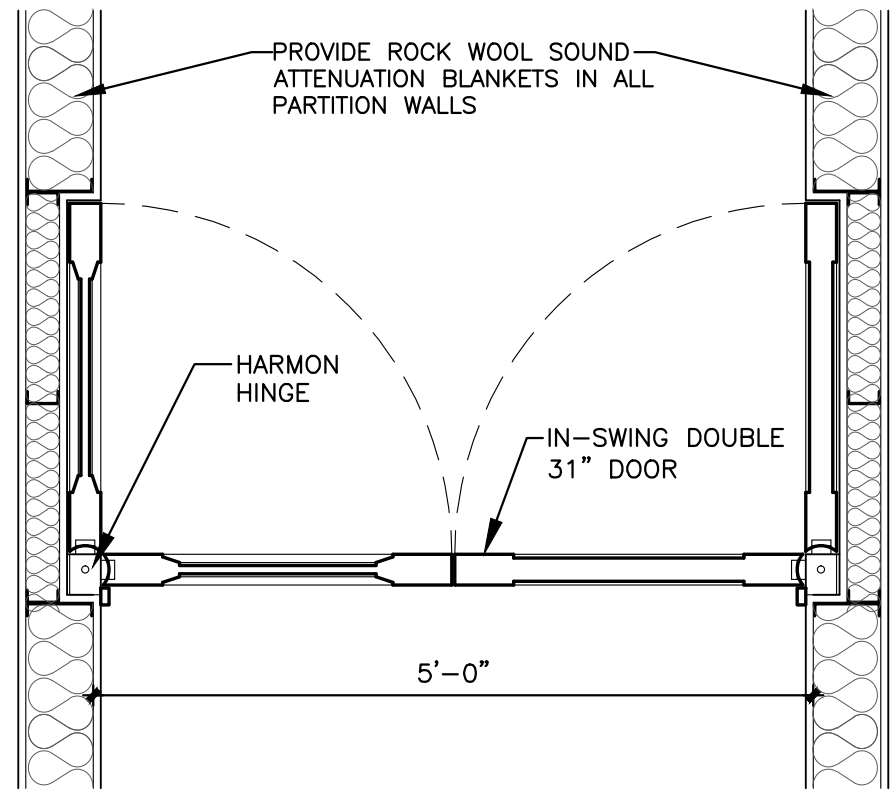
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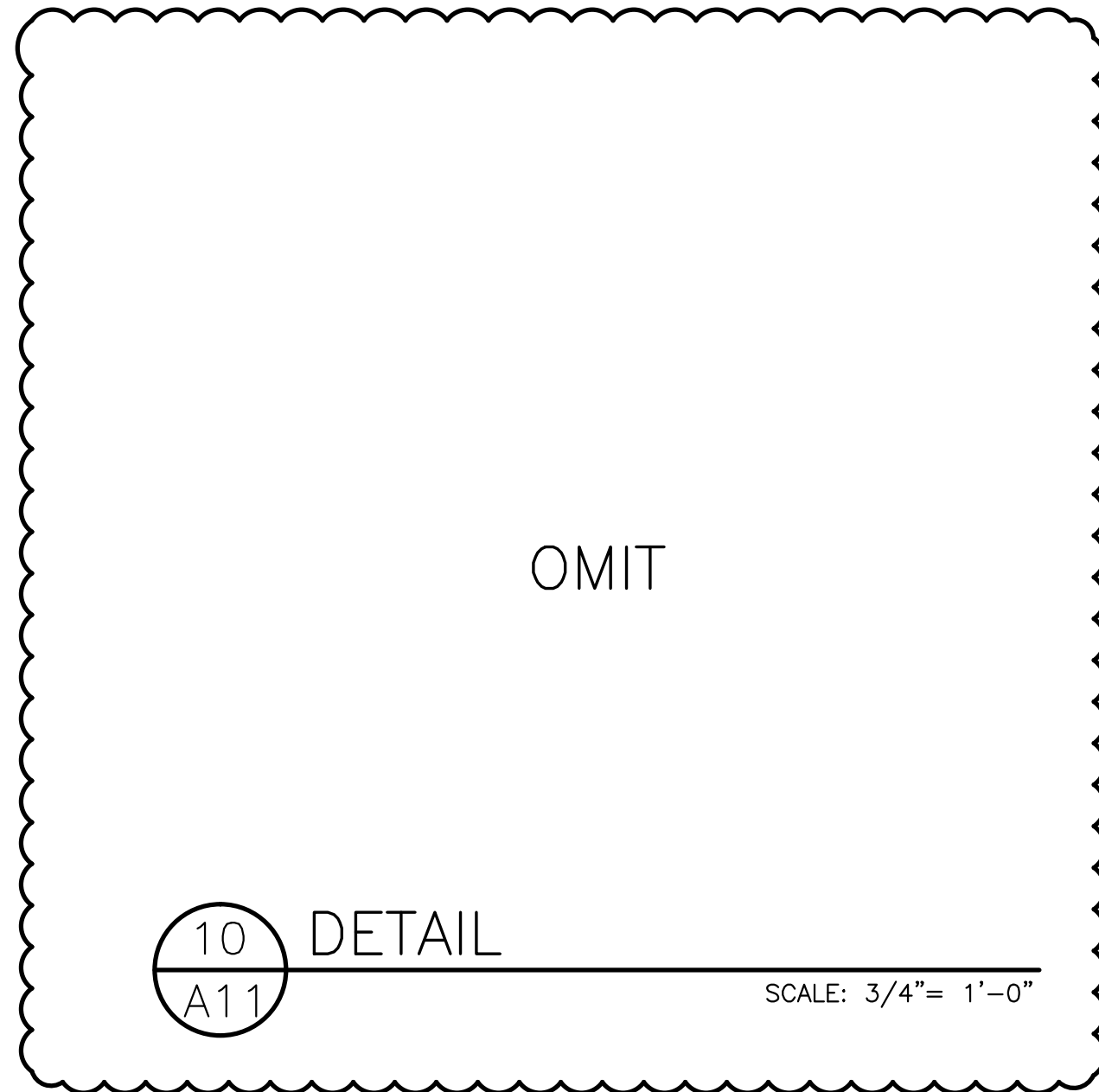
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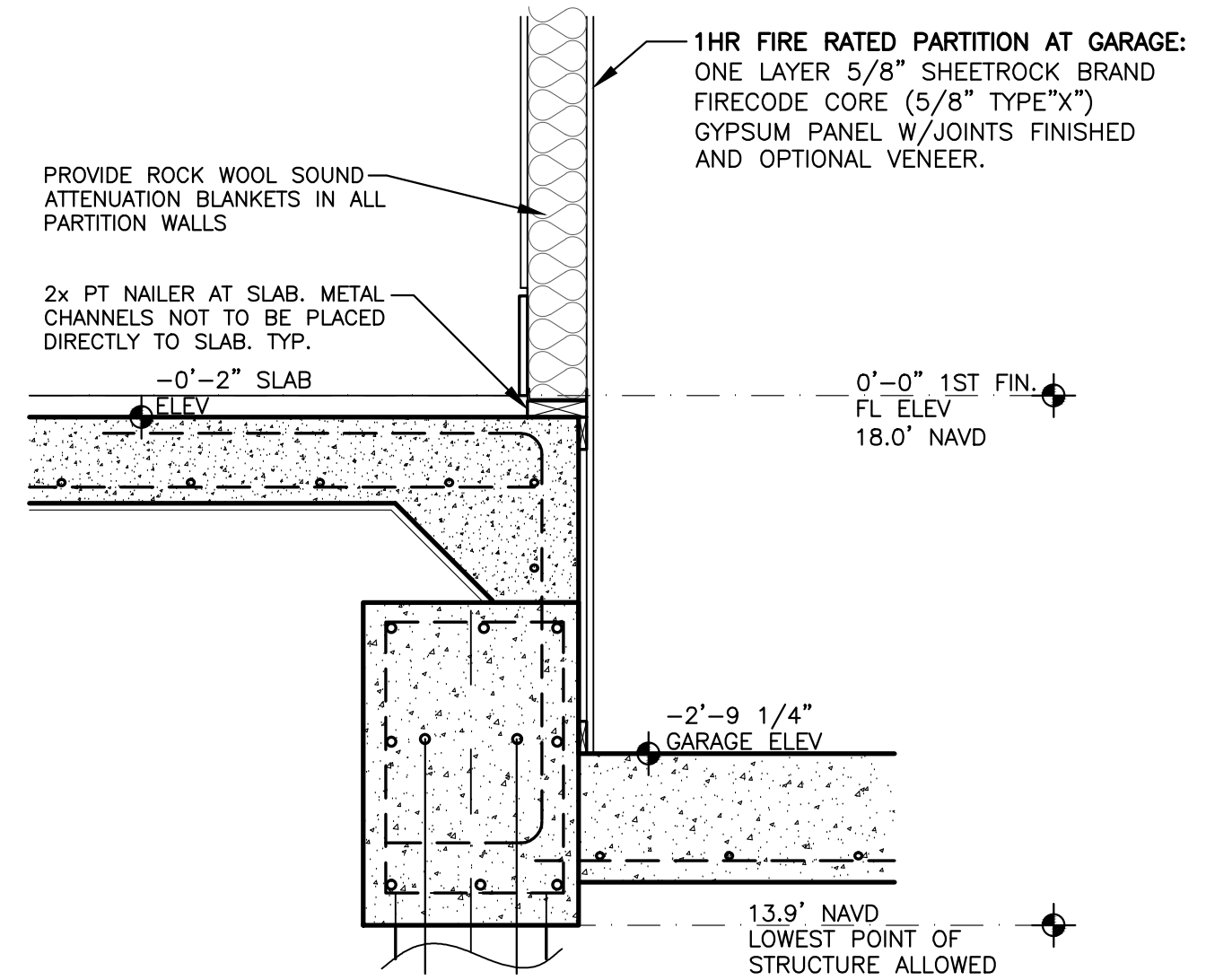
HALLWAY BUILT-IN PLAN

SCALE: N.T.S.



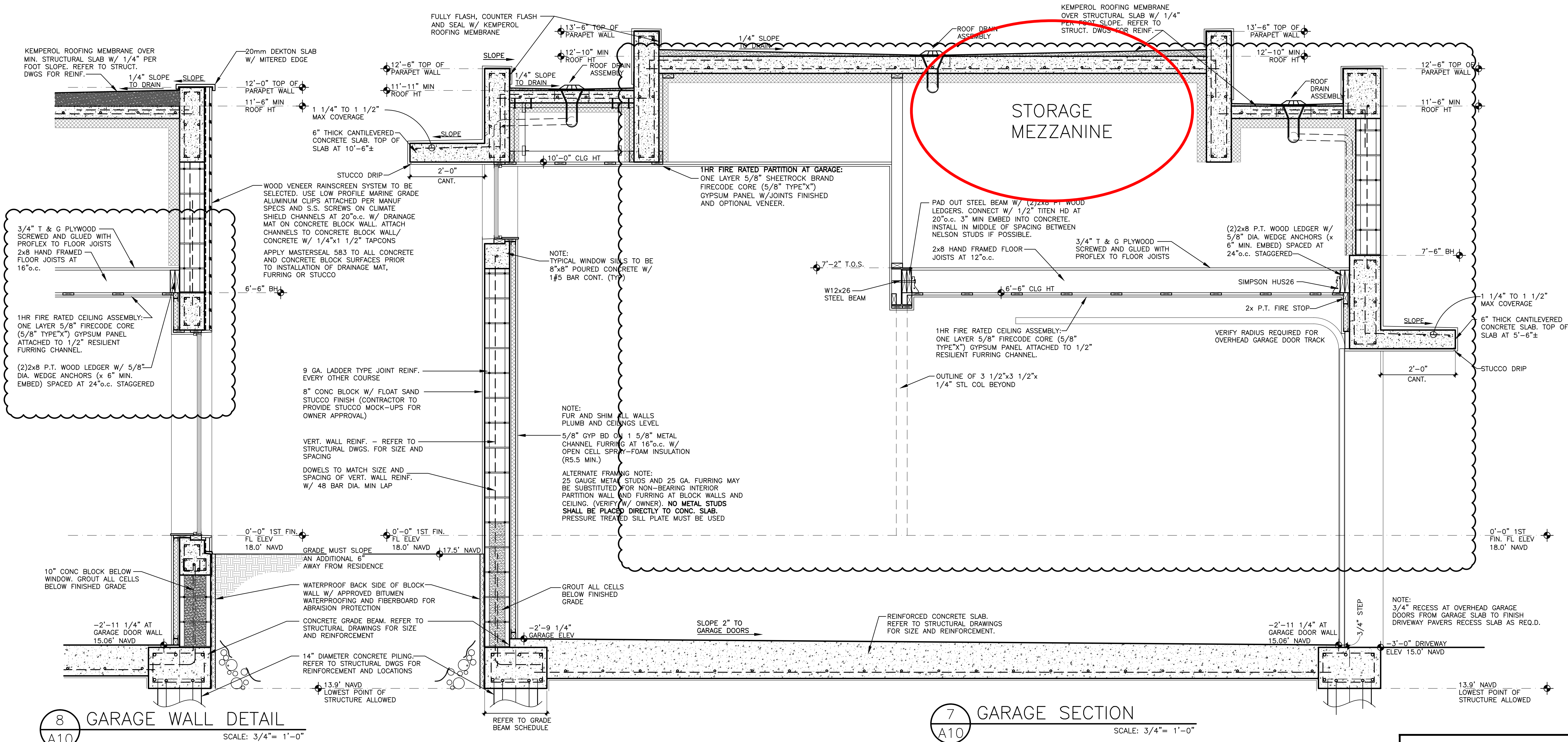
DETAIL

SCALE: 3/4"= 1'-0"



GARAGE DETAIL

SCALE: 3/4"= 1'-0"



8 GARAGE WALL DETAIL

SCALE: 3/4"= 1'-0"

7 GARAGE SECTION

SCALE: 3/4"= 1'-0"

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(FOR STRUCTURE ONLY)

Revisions:  
2-5-24 ARB REVIEW  
2-27-24 Owner Changes

Sheet Title:  
**DETAILS**

Scale:

3/4"=1'-0"

Comm.: 23-034  
Date: 9-18-23

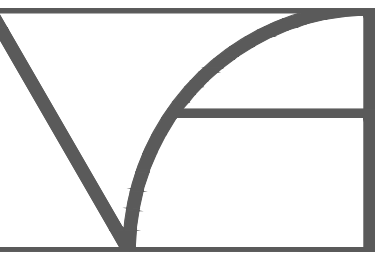
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**A10**

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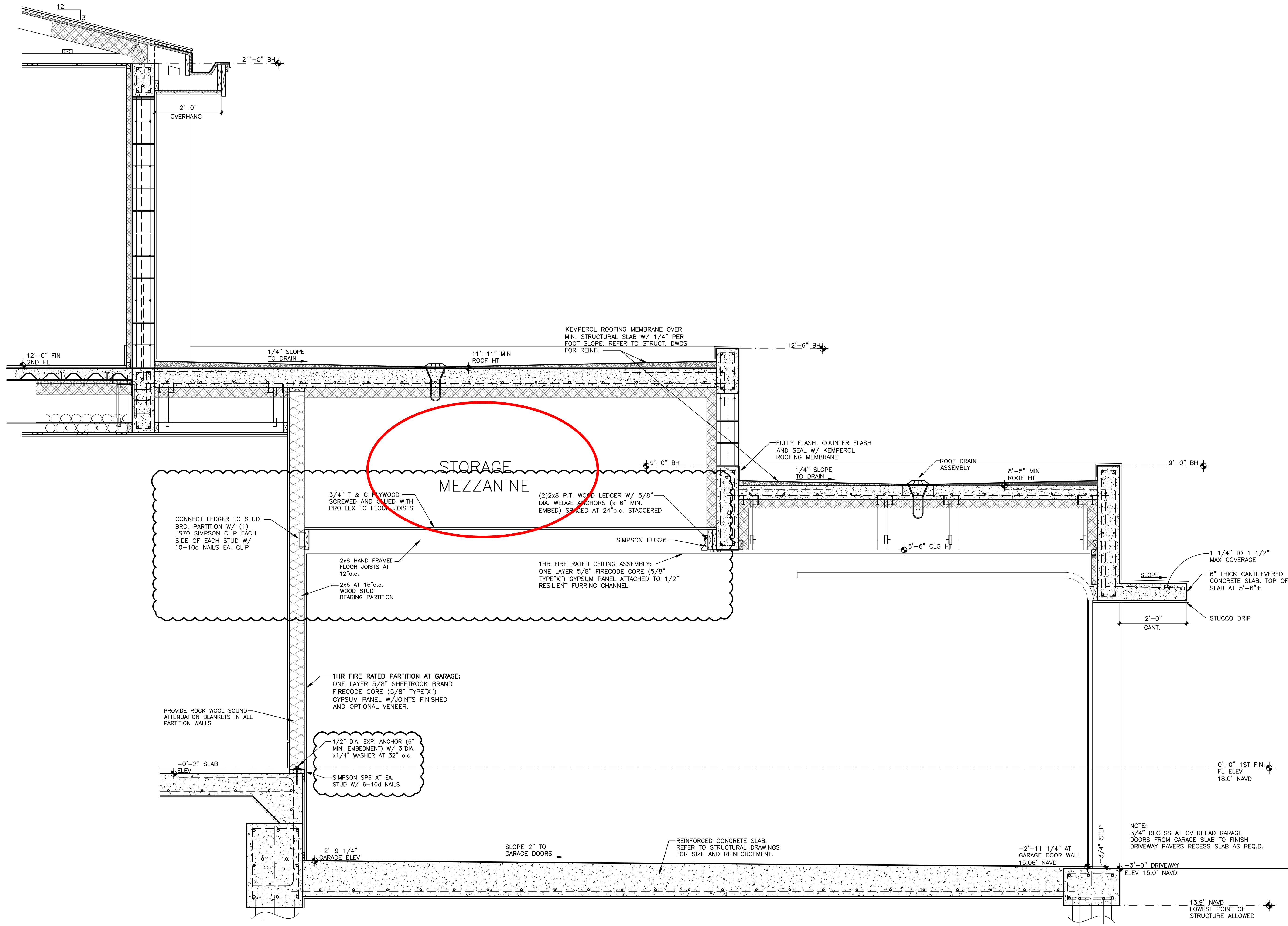
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Sheet No.

**A13**

PRINT DATE: 2-27-24



18 GARAGE #2 DETAIL  
A13 SCALE: 3/4"= 1'-0"

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NO PENETRATIONS OR NOTCHES SHALL BE MADE IN ANY STRUCTURAL MEMBER INCLUDING CONCRETE BEAMS AND COLUMNS, MASONRY BLOCK AND STEEL BEAMS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

**ELECTRICAL REQUIREMENTS:**  
A 230 VOLT, SINGLE PHASE, 60 HERTZ POWER TERMINATED IN A FUSED DISCONNECT SWITCH ADJACENT TO ELEVATOR CONTROLLE (ELEVATOR SHAFT) WITH A 30 AMP SERVICE  
A 115 VOLT DISCONNECT AND PHONE LINE MACHINE AREA (ELEVATOR SHAFT) FOR ELEVATOR CAB  
PROVIDE A 115 VOLT SWITCHED LIGHT AND CONVENIENCE OUTLET IN ELEVATOR SHAFT AREA (MECH PENTHOUSE)

**ELECTRICAL NOTES:**  
1. LIGHTING CONTROL SYSTEMS AND/OR LOW VOLTAGE SYSTEMS BY OWNER OR OTHERS  
2. OWNER/ARCHITECT TO VERIFY TRIM FINISH  
3. INCLUDE REMOTE POWER SUPPLY - CONTRACTOR TO VERIFY COMPATIBILITY WITH DIMMING SYSTEM  
4. INCLUDE ALL ELECTRICAL AND MOUNTING ACCESSORIES, CONNECTORS, ETC.  
5. VERIFY W/ OWNER WHICH RECEPTACLES WILL HAVE USB OUTLETS  
6. ALL LIGHTING TO BE LED UNLESS OTHERWISE NOTED  
7. ALL RECEPTACLES TO BE HORIZONTAL IN BASEBOARDS ONLY

FAN SIZING TABLE		
LARGER RM DIMENSION	FAN SIZE	MINIMUM FAN SIZE
12 FT. OR LESS	36 INCH	36 INCH
12 - 16 FT	48" INCH	48" INCH
16 - 17.5 FT	52" INCH	52" INCH
17.5 - 18.5 FT	56" INCH	56" INCH
18.5 FT OR MORE	60" INCH	60" INCH

TELEPHONE AND OR INTERNET CABLE  
SMOKE DETECTOR  
RECESSED LED  
RECESSED LED W/ VAPOR PROOF LENS COVER  
RECESSED LED W/ LENS COVER  
STEP LIGHT  
DUPLX RECEPT AND TV/CABLE  
CEILING MOUNTED LED  
WALL MOUNTED LED  
DUPLX RECEPT  
220 V RECEPT  
SWITCHED RECEPT  
SINGLE POLE SWITCH  
THREE WAY SWITCH  
EXHAUST FAN  
JAMB SWITCH OR PUSH BUTTON SWITCH

**GAS APPLIANCES:**  
(4) TANKLESS GAS WATER HEATERS  
GAS COOKTOP  
GAS BBQ  
GAS POOL HEATER  
GAS FIREPLACE  
GAS FIREPIT  
GAS GENERATOR

**NOTES:**  
• FOLLOW MANUFACTURERS' INSTALLATION INSTRUCTIONS, INCLUDING ELECTRICAL REQUIREMENTS, AND APPLICABLE CODES.  
• APPLIANCES AND FIXTURES TO BE SELECTED BY OWNER, U.N.O.  
• GAS PLUMBING DESIGN BY OTHERS

EXTERIOR LIGHT SCHEDULE								
LABEL	QUANTITY	TYPE OF MOUNT	MOUNT HT ABOVE FINISH GRADE	MANUFACTURER AND CATALOG NO.	LAMP TYPE, COLOR, AND WATTS	LEVEL	LOCATION	SHEET NO
△	34	RECESSED CEILING LT.	10'-0" A.F.F. 10'-6" A.F.F.	CH410-4" COMMERCIAL DOWNLIGHT-1000LM "LITON LIGHTING"	LED 10W AMBER (1500K)	1ST FL	EAST AND WEST SIDE	E1
△	1	WALL MOUNT DOWN LT	6'-6" A.F.F.	L-014 "BEACHSIDE LIGHTING"	LED 5W-A-NFL AMBER (1500K)	1ST FL	NORTH SIDE	E1
△	5	WALL MOUNT UP/DOWN LT	3'-0" A.F.F. 6'-6" A.F.F.	L-013-S "BEACHSIDE LIGHTING"	LED 7W-A-NFL AMBER (1500K)	1ST FL	WEST SIDE	E1
△	15	RECESSED STEP LIGHT	1'-6" A.F.F. 1'-6" A.F.F.	E3-SQL "BEACHSIDE LIGHTING"	LED 2W-A-FL AMBER (1500K)	1ST FL 2ND FL	NORTH, SOUTH, EAST AND WEST	E1 E2
△	4	IN GRADE UP LIGHT	-0'-6" A.F.F.	E3-SO "BEACHSIDE LIGHTING"	LED 2W-A-NFL AMBER (1500K)	1ST FL	WEST SIDE	E1

NOTE: FIXTURE CUTSHEETS ATTACHED FOR ALL PROPOSED FIXTURES. REFER TO CUTSHEETS FOR ADDITIONAL INFORMATION.  
ALL WINDOWS AND GLASS DOORS SHALL HAVE A MAXIMUM LIGHT TRANSMITTANCE VALUE OF 45%.

NOTE: PROVIDE 1'-0" MIN. CLEARANCE AROUND EACH A/C CONDENSER ALL SIDES.

NOTE: PROVIDE 1'-0" MIN. CLEARANCE AROUND EACH A/C CONDENSER ALL SIDES.

## ELECTRICAL NOTES:

1. LIGHTING CONTROL SYSTEMS AND/OR LOW VOLTAGE SYSTEMS BY OWNER OR OTHERS
2. OWNER/ARCHITECT TO VERIFY TRIM FINISH
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7. ALL RECEPTACLES TO BE HORIZONTAL IN BASEBOARDS ONLY

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2-5-24 ARB REVIEW  
2-27-24 Owner Changes

Sheet Title:

**FIRST FLOOR  
ELECTRICAL  
PLAN PT 1**

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Scale:

**1/4"=1'-0"**

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# E1

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ENGINEER OF RECORD.  
~~NOT FOR CONSTRUCTION~~

SCALE: 1/4" = 1'-0"



**PILE NOTES**

- PILES ARE DESIGNED BASED ON A SOILS REPORT FROM GEOTECHNICAL ENGINEER AND TESTING INC.
- GROUT SHALL BE A MIXTURE OF PORTLAND CEMENT, FINE AGGREGATE, AND WATER WITH PROPORTION AND ADMIXTURES AT THE CONTRACTORS DISCRETION ON A PERFORMANCE BASIS. A DESIGN MIX WITH CONFIRMING STRENGTH TEST RESULTS SHALL BE SUBMITTED TO THE PROJECT STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO INSTALLATION OF THE PILES. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE GROUT SHALL BE NO LESS THAN 5000 PSI.
- GROUTING SHALL BE PERFORMED IN A CONTINUOUS OPERATION. DURING EXTRACTION OF THE AUGER, SHOULD VOLUME OF GROUT-TAKE MARKEDLY INCREASE AND/OR INJECTION PRESSURE MARKEDLY DECREASE, AUGER SHALL BE REINFORCED TO A MINIMUM 2 FEET BELOW THE POINT IN QUESTION AND GROUTING RESUMED. THE PROCEDURE SHALL BE REPEATED AS FREQUENTLY AS NECESSARY TO ENSURE VERTICAL CONTINUITY OF THE GROUT SHAFT.
- GROUT SHALL BE SAMPLED AND TEST CYLINDERS OR CUBES SHALL BE CAST FOR 28-DAY STRENGTH CONFIRMATION AT THE FREQUENCY OF NO LESS THAN ONE SAMPLING PER 50 CUBIC YARDS, BUT AT LEAST ONE SAMPLING IN EACH SUSTAINED GROUTING OPERATION. MAKE AND TEST CUBES IN ACCORDANCE WITH ASTM C109. PILES SHALL NOT BE INSTALLED WITHIN 5 FEET CENTER TO CENTER UNTIL THE GROUT IN FIRST PILE HAS SET FOR 12 HOURS, 24 HOURS IF LESS THAN 3 FEET.
- PILE INSTALLATION SHALL BE WITNESSED AND LOGGED BY THE GEOTECHNICAL INSPECTOR. THE INSPECTOR OR ENGINEER OF RECORD SHALL CONFIRM SHAFT PLUMPTNESS, COMPLIANCE WITH DEPTH REQUIREMENTS, CONTINUITY OF GROUTING, AND REINFORCING DETAILS. INSPECTORS LOG SHALL INCLUDE THE PRECEDING AND ALL OTHER PERTINENT DATA INCLUDING PILE IDENTIFICATION.
- AUGER ROTATION NOT TO EXCEED 1 ROTATION EVERY 2-3 SECONDS DURING WITHDRAWAL OF AUGER BIT.
- ALL CONCRETE WORK IS TO CONFORM TO ACI 318 AND THE CONCRETE GENERAL NOTES INCLUDED ELSEWHERE IN THESE DOCUMENTS.
- ALL FILL IS TO BE COMPACTED TO 95% DENSITY AS MEASURED BY THE STANDARD PROCTOR TEST (ASTM D-1557). SUCH TESTS MAY BE REQUIRED BY THE ENGINEER OF RECORD.
- REFER TO ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SIZES AND LOCATIONS OF SLAB PENETRATIONS THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. ALL SLAB PENETRATIONS ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL GRADE BEAM EXCAVATIONS SHALL BE NEAT, STRAIGHT AND LEVEL IN THE PROPER ELEVATIONS TO RECEIVE THE CONCRETE. EXCESSIVE VARIATIONS IN THE DIMENSIONS OF GRADE BEAMS OR SLABS WILL NOT BE PERMITTED. REINFORCING STEEL AND MESH SHALL BE ACCURATELY PLACED AND SUPPORTED TO MAINTAIN ITS POSITION DURING THE CONCRETE POURING. EDGE FORMS SHALL BE USED FOR CONCRETE THAT WILL BE EXPOSED.
- ALL SOILS AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDINGS SHALL HAVE PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. THE STANDARDS OF THE NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.
- PLAN LOCATION - THE CENTER OF THE TOP OF ANY PILE AT CUT-OFF SHOULD BE DISPLACED Laterally NO MORE THAN 1 INCH FROM THE POSITION SHOWN ON THE PLANS. THIS APPLIES TO BOTH SINGLE PILES AND PILES INSTALLED IN GROUPS.
- VERTICAL ALIGNMENT - THE VERTICAL ALIGNMENT OF THE PILING SHOULD NOT DEVIATE FROM THE PLUMB BY MORE THAN 1/4" PER FOOT OF LENGTH.
- REINFORCING CAGE POSITIONING - THE TOP OF THE REINFORCING CAGES INSTALLED IN THE PILING SHOULD NOT BE MORE THAN 6 INCHES ABOVE AND NO MORE THAN 3 INCHES BELOW THE POSITIONS SHOWN IN THE PLANS. THE REINFORCING CAGES SHOULD BE POSITIONED CONCENTRICALLY WITHIN THE GROUTED PILE SHAFT. THE GROUT COVER OVER LONGITUDINAL REINFORCING BARS SHOULD NOT BE LESS THAN 3 INCHES.
- ADJACENT PILES - A MINIMUM TIME PERIOD OF 12 HOURS SHOULD BE SPECIFIED FOR THE INSTALLATION OF PILES LOCATED WITHIN 5 FEET, CENTER-TO-CENTER, OF EACH OTHER.
- GROUT FACTOR - THE MINIMUM ACCEPTABLE GROUT FACTOR (I.E. ACTUAL GROUT VOLUME DIVIDED BY THEORETICAL GROUT VOLUME) SHOULD BE 1.15

**GRADE BEAM SCHEDULE**

MARK	SIZE: W"xD"	REINFORCING			
		BOTTOM	MIDDLE	TOP	HOOPS
GB1	20" x 13"	(4)#8	2#5	(4)#8	#3 AT 11"
GB2	20" x 30"	(4)#8	2#5	(4)#8	#3 AT 11"
GB3	12" x 20"	(3)#7	2#5	(3)#7	#3 AT 10"

**LEGEND**

SYMBOL	DESCRIPTION
PC1	PILE CAP
P1	14" AUGER PILE W/ (5)#5 VERTICAL AND #4 HOOPS AT 12" o.c. W/ 5000PSI GROUT REFER TO SOILS REPORT FOR PILE LENGTH/DEPTH
	DIRECTION OF PRIMARY REINF.

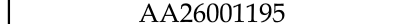
**SLAB NOTES**

- DIRECTION OF #6 BARS AT 12" o.c. BOTTOM OF CONCRETE SLAB. PLACE #4 BARS AT 16" o.c. DIRECTLY ON TOP AND PERPENDICULAR TO ALL BOTTOM REINFORCING. TOP REINFORCING (12" o.c.) OVER GRADE BEAMS TO EXTEND ONTO SLABS 1/3 OF SLAB SPAN. ALL TOP REINFORCING SHALL BE PLACED WITH A MAXIMUM OF 1 1/2" COVERAGE TOP

SCALE: 1/4" = 1'-0"

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INLET COLONY, F

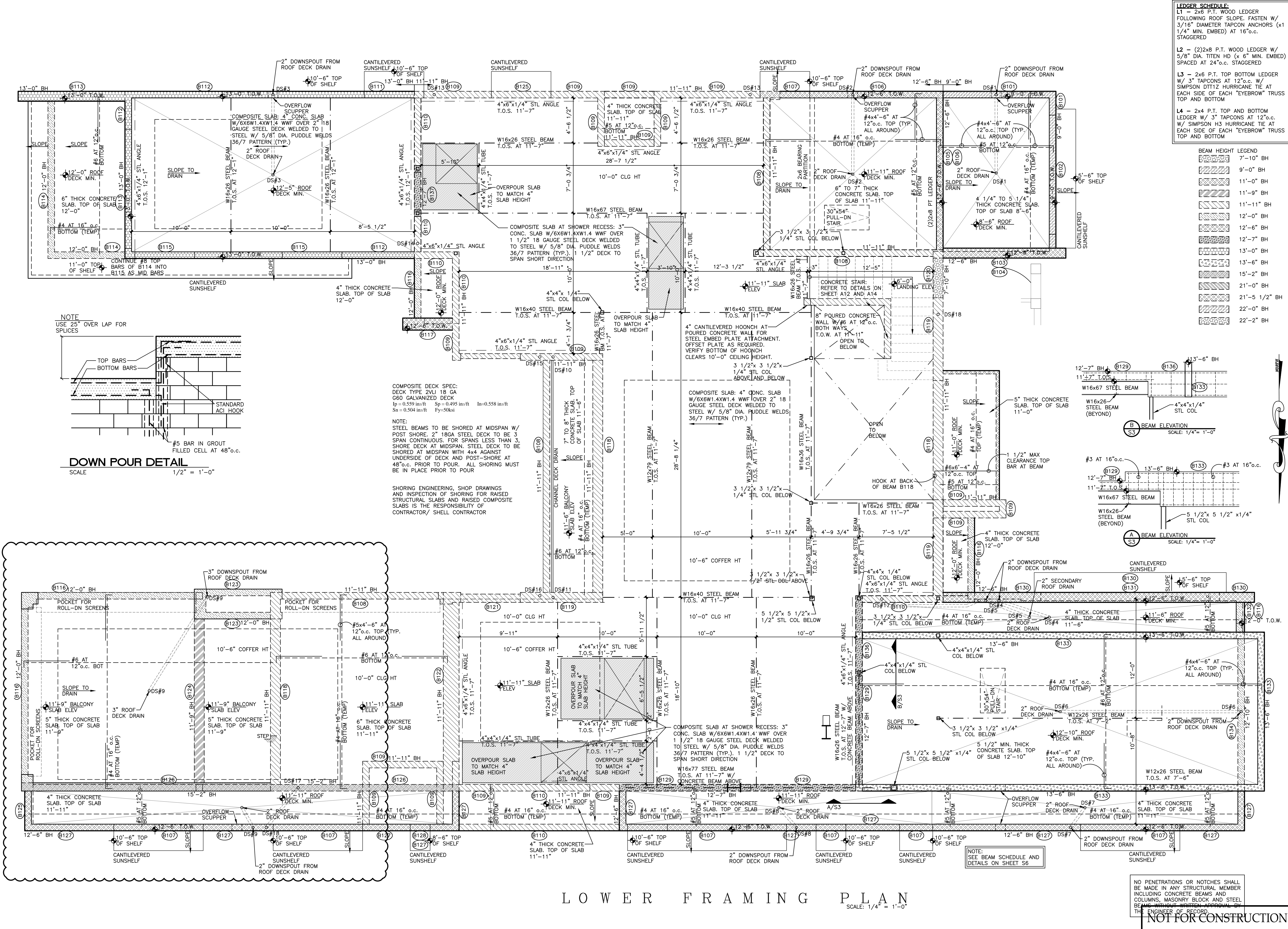
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S1





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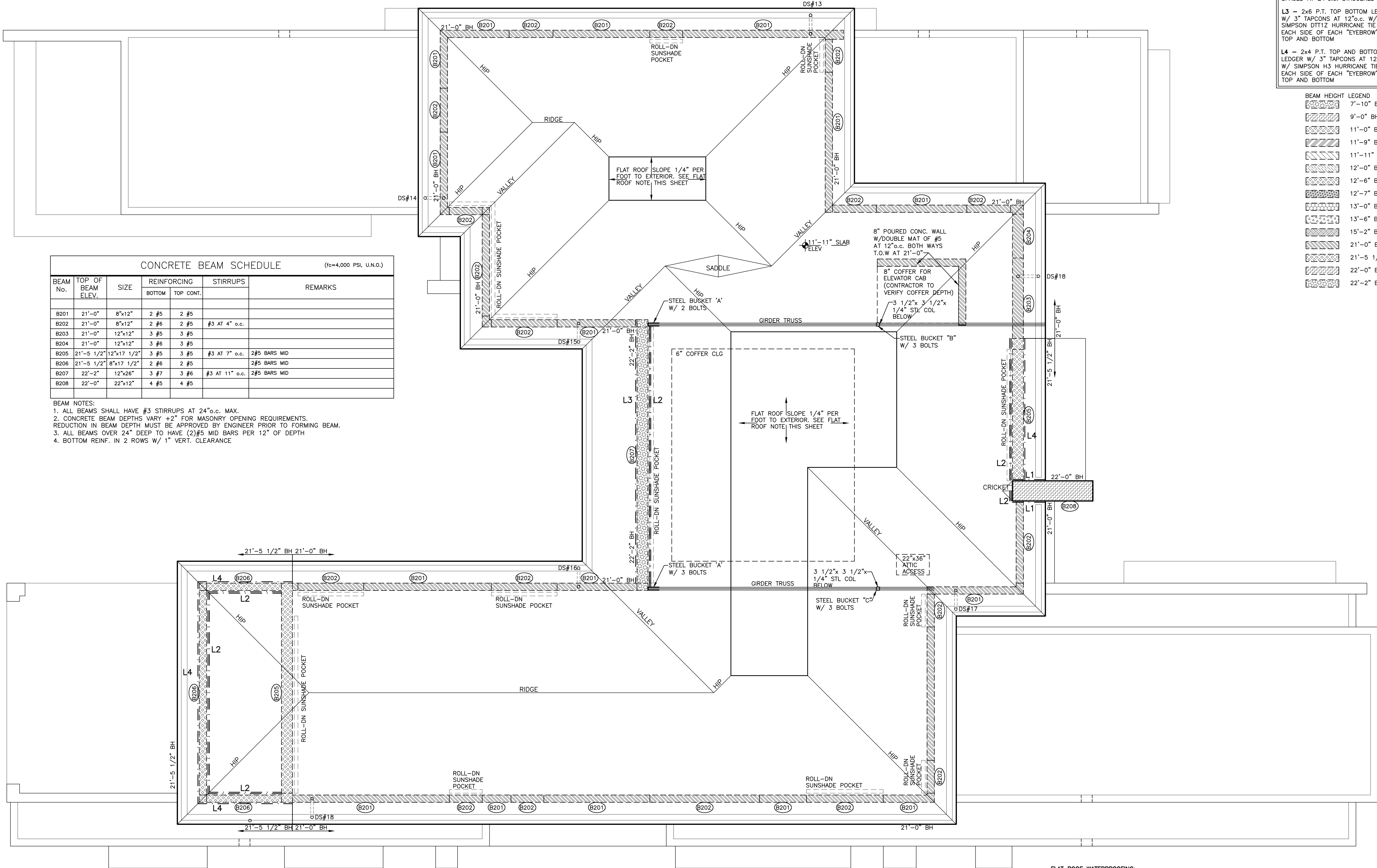
**MICHAEL BABER**  
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Revisions:  
2-5-24 ARB REVIEW  
2-27-24 Owner Changes

Sheet Title:  
**LOWER  
FRAMING  
PLAN PT1**  
Scale:  
1/4"=1'-0"  
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23-034  
Date:  
9-18-23  
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CONCRETE BEAM SCHEDULE (fc=4,000 PSI, U.N.O.)						
BEAM No.	TOP OF BEAM ELEV.	SIZE	REINFORCING		STIRRUPS	REMARKS
			BOTTOM	TOP CONT.		
B201	21'-0"	8"x12"	2 #5	2 #5		
B202	21'-0"	8"x12"	2 #6	2 #5	#3 AT 4" o.c.	
B203	21'-0"	12"x12"	3 #5	3 #5		
B204	21'-0"	12"x12"	3 #6	3 #5		
B205	21'-5 1/2"	12"x17 1/2"	3 #5	3 #5	#3 AT 7" o.c.	2#5 BARS MID
B206	21'-5 1/2"	8"x17 1/2"	2 #6	2 #5		2#5 BARS MID
B207	22'-2"	12"x26"	3 #7	3 #6	#3 AT 11" o.c.	2#5 BARS MID
B208	22'-0"	22"x12"	4 #5	4 #5		

- BEAM NOTES:
- ALL BEAMS SHALL HAVE #3 STIRRUPS AT 24"o.c. MAX.
  - CONCRETE BEAM DEPTHS VARY +2" FOR MASONRY OPENING REQUIREMENTS. REDUCTION IN BEAM DEPTH MUST BE APPROVED BY ENGINEER PRIOR TO FORMING BEAM.
  - ALL BEAMS OVER 24" DEEP TO HAVE (2)#5 MID BARS PER 12" OF DEPTH
  - BOTTOM REINF. IN 2 ROWS W/ 1" VERT. CLEARANCE

LEDGER SCHEDULE:	
L1	- 2x6 P.T. WOOD LEDGER FOLLOWING ROOF SLOPE. FASTEN W/ 3/16" DIAMETER TAPCON ANCHORS (x1 1/4" MIN. EMBED) AT 16"o.c. STAGGERED
L2	- (2)2x8 P.T. WOOD LEDGER W/ 5/8" DIA. TITEN HD (x 6" MIN. EMBED) SPACED AT 24"o.c. STAGGERED
L3	- 2x6 P.T. TOP BOTTOM LEDGER W/ 3" TAPCONS AT 12"o.c. W/ SIMPSON DTT12 HURRICANE TIE AT EACH SIDE OF EACH "EYEBROW" TRUSS TOP AND BOTTOM
L4	- 2x4 P.T. TOP AND BOTTOM LEDGER W/ 3" TAPCONS AT 12"o.c. W/ SIMPSON H3 HURRICANE TIE AT EACH SIDE OF EACH "EYEBROW" TRUSS TOP AND BOTTOM

BEAM HEIGHT	LEGEND
7'-10"	BH
9'-0"	BH
11'-0"	BH
11'-9"	BH
11'-11"	BH
12'-0"	BH
12'-6"	BH
12'-7"	BH
13'-0"	BH
13'-6"	BH
15'-2"	BH
21'-0"	BH
21'-5 1/2"	BH
22'-0"	BH
22'-2"	BH



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2-5-24 ARB REVIEW  
2-27-24 Owner Changes

Sheet Title:  
**UPPER  
FRAMING  
PLAN**

Scale:  
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U P P E R F R A M I N G P L A N

SCALE: 1/4" = 1'-0"

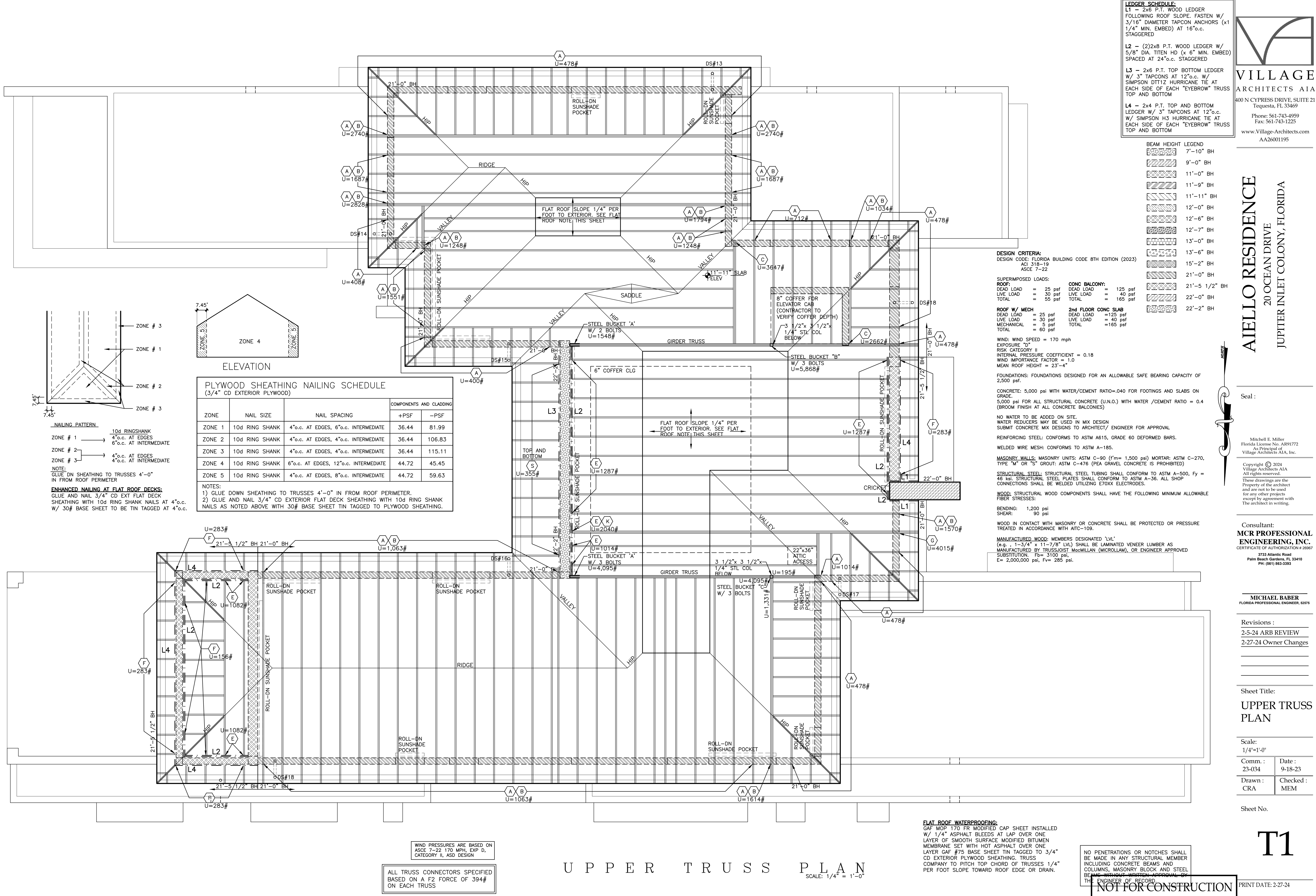
**FLAT ROOF WATERPROOFING:**  
GAF MOP 170 FR MODIFIED CAP SHEET INSTALLED  
W/ 1/4" ASPHALT BLEEDS AT LAP OVER ONE  
LAYER OF SMOOTH SURFACE MODIFIED BITUMEN  
MEMBRANE SET WITH HOT ASPHALT OVER ONE  
LAYER GAF #75 BASE SHEET TIN TAGGED TO 3/4"  
CD EXTERIOR PLYWOOD SHEATHING. TRUSS  
COMPANY TO PITCH TOP CHORD OF TRUSSES 1/4"  
PER FOOT SLOPE TOWARD ROOF EDGE OR DRAIN.

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**LEDGER SCHEDULE:**

**L1** – 2x6 P.T. WOOD LEDGER FOLLOWING ROOF SLOPE. FASTEN W/ 3/16" DIAMETER TAPCON ANCHORS (x1 1/4" MIN. EMBED) AT 16"o.c. STAGGERED

**L2** – (2)2x8 P.T. WOOD LEDGER W/ 5/8" DIA. TITEN HD (x 6" MIN. EMBED) SPACED AT 24"o.c. STAGGERED

**L3** – 2x6 P.T. TOP BOTTOM LEDGER W/ 3" TAPCONS AT 12"o.c. W/ SIMPSON DTT12 HURRICANE TIE AT EACH SIDE OF EACH "EYEBROW" TRUSS TOP AND BOTTOM

**L4** – 2x4 P.T. TOP AND BOTTOM LEDGER W/ 3" TAPCONS AT 12"o.c. W/ SIMPSON H3 HURRICANE TIE AT EACH SIDE OF EACH "EYEBROW" TRUSS TOP AND BOTTOM

**BEAM HEIGHT LEGEND**

[Pattern]	7'-10" BH
[Pattern]	9'-0" BH
[Pattern]	11'-0" BH
[Pattern]	11'-9" BH
[Pattern]	11'-11" BH
[Pattern]	12'-0" BH
[Pattern]	12'-6" BH
[Pattern]	12'-7" BH
[Pattern]	13'-0" BH
[Pattern]	13'-6" BH
[Pattern]	15'-2" BH
[Pattern]	21'-0" BH
[Pattern]	21'-5 1/2" BH
[Pattern]	22'-0" BH
[Pattern]	22'-2" BH

**DESIGN CRITERIA:**

DESIGN CODE: FLORIDA BUILDING CODE 8TH EDITION (2023)  
ACI 318-19  
ASCE 7-22

**SUPERIMPOSED LOADS:**

**ROOF:**  
DEAD LOAD = 25 psf  
LIVE LOAD = 30 psf  
TOTAL = 55 psf

**CONC BALCONY:**  
DEAD LOAD = 125 psf  
LIVE LOAD = 40 psf  
TOTAL = 165 psf

**ROOF W/ MECH:**  
DEAD LOAD = 25 psf  
LIVE LOAD = 30 psf  
MECHANICAL = 5 psf  
TOTAL = 60 psf

**2nd FLOOR CONC SLAB:**  
DEAD LOAD = 125 psf  
LIVE LOAD = 40 psf  
TOTAL = 165 psf

WIND: WIND SPEED = 170 mph  
EXPOSURE "D"  
RISK CATEGORY II  
INTERNAL PRESSURE COEFFICIENT = 0.18  
WIND IMPORTANCE FACTOR = 1.0  
MEAN ROOF HEIGHT = 23'-4"

FOUNDATIONS: FOUNDATIONS DESIGNED FOR AN ALLOWABLE SAFE BEARING CAPACITY OF 2,500 psf.

CONCRETE: 5,000 psi WITH WATER/CEMENT RATIO=.040 FOR FOOTINGS AND SLABS ON GRADE.  
5,000 psi FOR ALL STRUCTURAL CONCRETE (U.N.O.) WITH WATER /CEMENT RATIO = 0.4 (BROOM FINISH AT ALL CONCRETE BALCONIES)

NO WATER TO BE ADDED ON SITE.  
WATER REDUCERS MAY BE USED IN MIX DESIGN  
SUBMIT CONCRETE MIX DESIGNS TO ARCHITECT/ ENGINEER FOR APPROVAL

REINFORCING STEEL: CONFORMS TO ASTM A615, GRADE 60 DEFORMED BARS.  
WELDED WIRE MESH: CONFORMS TO ASTM A-185.

MASONRY WALLS: MASONRY UNITS: ASTM C-90 (f'm= 1,500 psi) MORTAR: ASTM C-270, TYPE "M" OR "S" GROUT: ASTM C-476 (PEA GRAVEL CONCRETE IS PROHIBITED)

STRUCTURAL STEEL: STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A-500, Fy = 46 ksi. STRUCTURAL STEEL PLATES SHALL CONFORM TO ASTM A-36. ALL SHOP CONNECTIONS SHALL BE WELDED UTILIZING E70XX ELECTRODES.

WOOD: STRUCTURAL WOOD COMPONENTS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES:

BENDING: 1,200 psi  
SHEAR: 90 psi

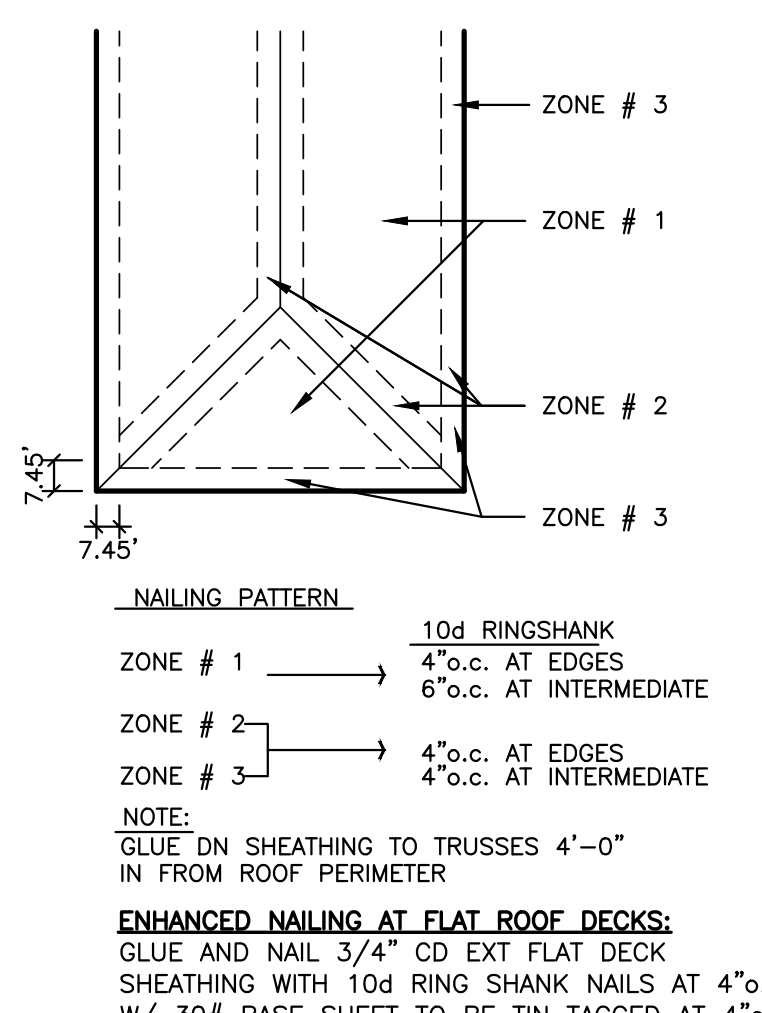
WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PROTECTED OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109.

MANUFACTURED WOOD: MEMBERS DESIGNATED 'LVL'  
(e.g. , 1-3/4" x 11-7/8" LVL) SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUSS/JOIST MacMILLAN (MICROLLAM), OR ENGINEER APPROVED SUBSTITUTION. Fb= 3,100 psi.  
E= 2,000,000 psi, Fv= 285 psi.

**PLYWOOD SHEATHING NAILING SCHEDULE**  
(3/4" CD EXTERIOR PLYWOOD)

ZONE	NAIL SIZE	NAIL SPACING	+PSF	-PSF
ZONE 1	10d RING SHANK	4"o.c. AT EDGES, 6"o.c. INTERMEDIATE	36.44	81.99
ZONE 2	10d RING SHANK	4"o.c. AT EDGES, 4"o.c. INTERMEDIATE	36.44	106.83
ZONE 3	10d RING SHANK	4"o.c. AT EDGES, 4"o.c. INTERMEDIATE	36.44	115.11
ZONE 4	10d RING SHANK	6"o.c. AT EDGES, 12"o.c. INTERMEDIATE	44.72	45.45
ZONE 5	10d RING SHANK	4"o.c. AT EDGES, 8"o.c. INTERMEDIATE	44.72	59.63

NOTES:  
1) GLUE DOWN SHEATHING TO TRUSSES 4'-0" IN FROM ROOF PERIMETER.  
2) GLUE AND NAIL 3/4" CD EXTERIOR FLAT DECK SHEATHING WITH 10d RING SHANK NAILS AS NOTED ABOVE WITH 30# BASE SHEET TIN TAGGED TO PLYWOOD SHEATHING.



WIND PRESSURES ARE BASED ON ASCE 7-22 170 MPH, EXP D, CATEGORY II, ASD DESIGN

ALL TRUSS CONNECTORS SPECIFIED BASED ON A F2 FORCE OF 394# ON EACH TRUSS

**FLAT ROOF WATERPROOFING:**  
GAF MOP 170 FR MODIFIED CAP SHEET INSTALLED W/ 1/4" ASPHALT BLEEDS AT LAP OVER ONE LAYER OF SMOOTH SURFACE MODIFIED BITUMEN MEMBRANE SET WITH HOT ASPHALT OVER ONE LAYER GAF #75 BASE SHEET TIN TAGGED TO 3/4" CD EXTERIOR PLYWOOD SHEATHING. TRUSS COMPANY TO PITCH TOP CHORD OF TRUSSES 1/4" PER FOOT SLOPE TOWARD ROOF EDGE OR DRAIN.

NO PENETRATIONS OR NOTCHES SHALL BE MADE IN ANY STRUCTURAL MEMBER INCLUDING CONCRETE BEAMS AND COLUMNS, MASONRY BLOCK AND STEEL BEAMS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD

**NOT FOR CONSTRUCTION**

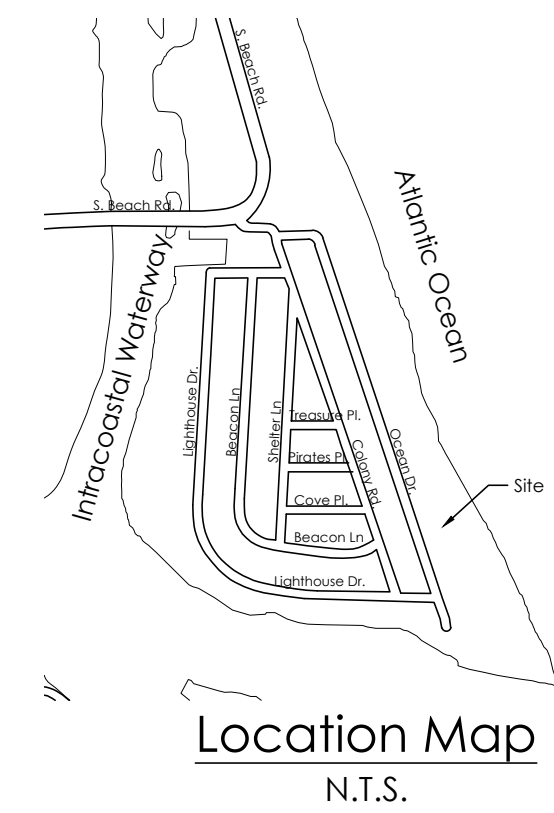










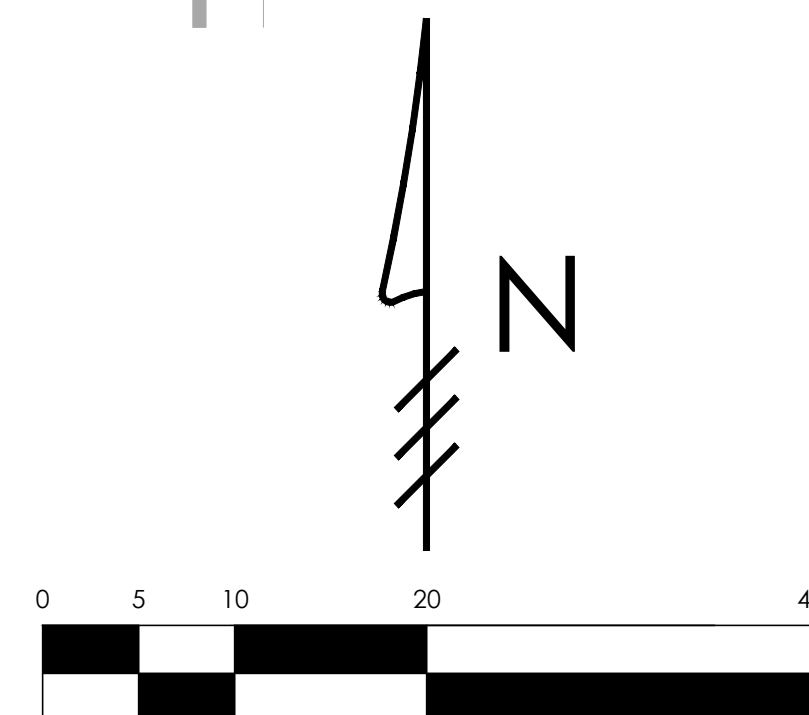
61.312.2041  
office@gruberengineers.com

**HOURS BEFORE DIGGING,  
CALL 1-800-432-4770  
FLORIDA SHINE STATE ONE  
L OF FLORIDA, INC.**

Contractor is responsible for determining location of existing utilities prior to commencement of construction activities.



-  EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)  
 PROPOSED ELEVATION (NAVD-88)  
 PROPOSED ELEVATION CONTOUR (NAVD-88)  
 FLOW DIRECTION  
 AREA DRAIN  
 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1" = 10'

1	03/04/24	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
---	----------	--

em has been electronically  
d and sealed by Chad M. Gruber  
e date adjacent to the seal using  
authentication code.  
d copies of this document are  
onsidered signed and sealed and  
A authentication code must be  
d on any electronic copies.

ET NUMBER:

**C-1**

Plan Background from Hardscape Plan by  
Parker-Yannette Design Group  
Received 2/26/24

© 2024 Gruber Consulting Engineers, Inc.

Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downsouts are to be connected to the proposed drainage system. Contractor to provide engineer with downsout locations prior to installation of drainage system.
- 3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 4) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 5) Video inspection of storm drainage system required prior to installation of sod.



Layout Notes

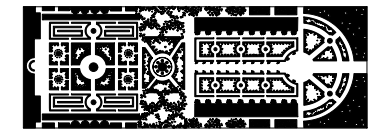
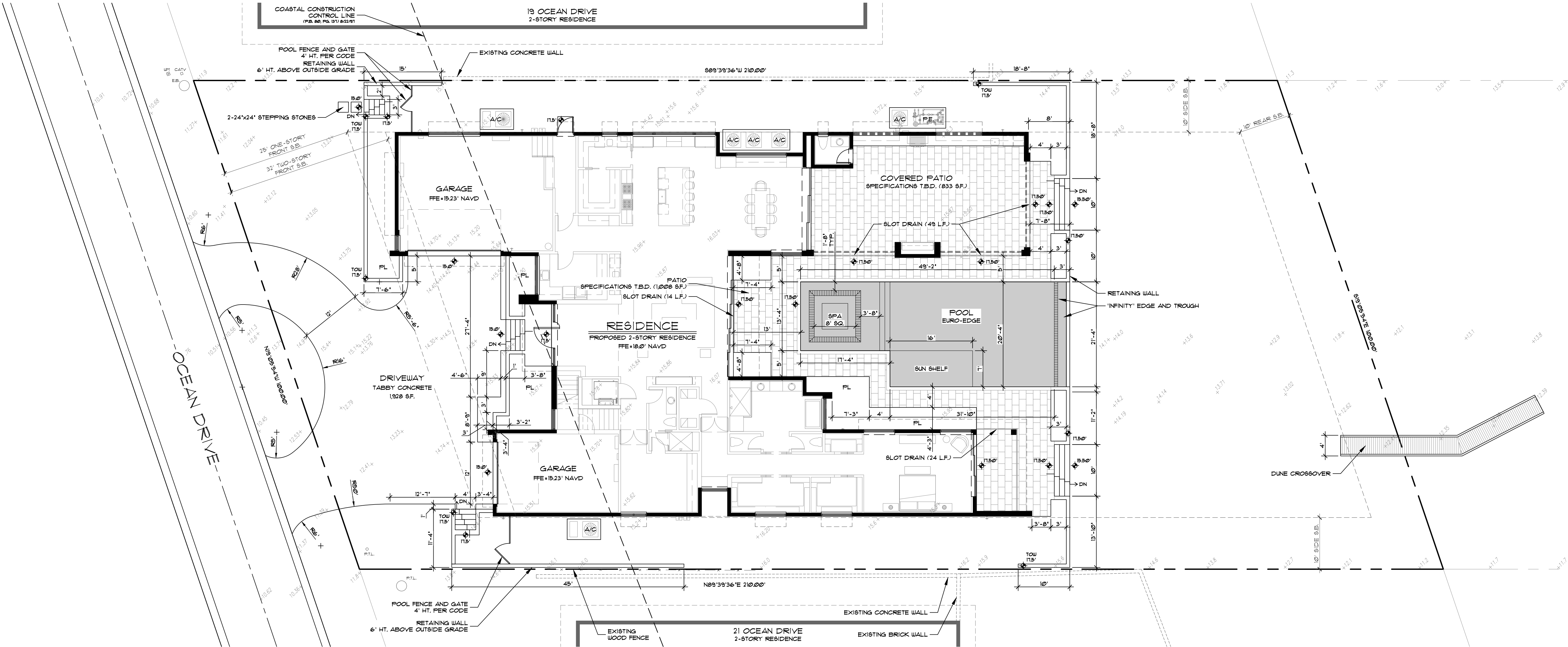
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
2. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
4. ALL FILL FOR BERMING AND PLANTING BROUGHT TO THE SITE SHALL BE CLEAN, FRIABLE SANDY LOAM OF SLIGHTLY ACID TO NEUTRAL PH. ALL FILL SHALL BE FREE FROM STICKS, ROCKS MARL, SOD AND OTHER DEBRIS.
5. REMOVE ALL ROAD BASE, SHELLROCK, MARL, CORAL ROCK, AND RUBBLE 30" MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. FITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST FITCH TO DRAIN AT MIN. OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION AND ELECTRIC SLEEVES TO ALL PLANTERS.

Drainage Notes

1. MATCH ALL EXISTING GRADES ALONG SIDE PROPERTY LINES.
2. PROVIDE SWALES ON BOTH SIDE PROPERTY LINES. NO WATER SHALL DRAIN ONTO NEIGHBORS PROPERTY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE SITE DRAINAGE AWAY FROM ALL STRUCTURES INCLUDING BUT NOT LIMITED TO PLANTERS, COURTYARD PLANTING AREAS, HARDSCAPE SURFACES AND ARCHITECTURAL ELEMENTS.
4. CONTRACTOR SHALL PROVIDE DRAINAGE FROM ALL PLANTERS.

Site Data

LOT SIZE: 19,884 S.F.  
TOTAL LANDSCAPE AREA: 9,918 S.F.  
LANDSCAPE COVERAGE: 50.2% (50.0% MIN.)  
IMPERVIOUS AREA: 9,966 S.F.  
IMPERVIOUS COVERAGE: 49.8% (50.0% MAX.)  
FRONT YARD AREA: 2,500 S.F.  
FRONT YARD LANDSCAPE AREA: 1,976 S.F.  
FRONT YARD LANDSCAPE COVERAGE: 55.0% (50.0% MIN.)  
NOTE: SEE ARCHITECT'S PLANS FOR PROPOSED LOT COVERAGE



PARKER-YANNETTE  
design group, inc.

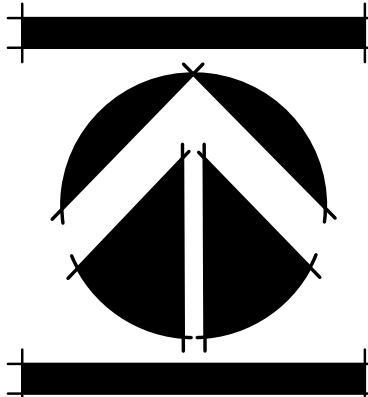
LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4425 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-5069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
License #LA0001347

AIELLO RESIDENCE  
20 OCEAN DRIVE  
JUPITER INLET COLONY, FLORIDA  
HARDSCAPE PLAN

DATE: 12.06.2023  
DRAWN BY: CCY/BMS  
JOB NO.: 23-116  
SCALE: 1"=10'-0"  
FILENAME: Aiello 03

REVISIONS:  
12/14/23  
22/02/24



SHEET:

F-1



Landscape Lighting Table

SYM	QTY	MOUNT TYPE	MOUNT HT.	MANUFACTURER/CATALOG NO.	LAMP TYPE, COLOR AND WATTS
▲ A	1	Accent Light	18'	HSL20-LM-50-10-W-21-FR-18-AGS-NAT	12V 12W LED (1500 Lumens, 2700K Temp)
▲ B	4	Accent Light	Ground	Aurora HSL20-LM-60-8-W-21-AGS-NAT	12V 8W LED (1500 Lumens, 2700K Temp)
⊕ C	4	Path Light	18'	Aurora LPL1-21-FR-C-2GS-NAT	6W LED (356 Lumens, 2700K Temp)
⊕ CA	2	Path Light	18'	Aurora LPL1-AMB-FR-C-2GS-NAT	6W LED (356 Lumens, Amber Color)
⊕ D	5	Pool/Spa Light	N/A	Pentair 602152 IntelliBrite Architectural Series Pool Light	12V 28W LED (520 Lumens, Red Color)

NOTES:

- INSTALL ALL WIRING IN CONDUIT MINIMUM 12" BELOW GRADE.

Site Data

LOT SIZE: 19,884 SF.  
TOTAL LANDSCAPE AREA: 9,959 SF.  
LANDSCAPE COVERAGE: 50.1% (50.0% MIN.)  
IMPERVIOUS AREA: 9,329 SF.  
IMPERVIOUS COVERAGE: 49.3% (50.0% MAX.)  
FRONT YARD AREA: 2,500 SF.  
FRONT YARD LANDSCAPE AREA: 1,376 SF.  
FRONT YARD LANDSCAPE COVERAGE: 55.0% (50.0% MIN.)  
NOTE: SEE ARCHITECT'S PLANS FOR PROPOSED LOT COVERAGE

Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing tree/palm to be relocated on site
- Existing vegetation to remain
- Existing vegetation to be removed

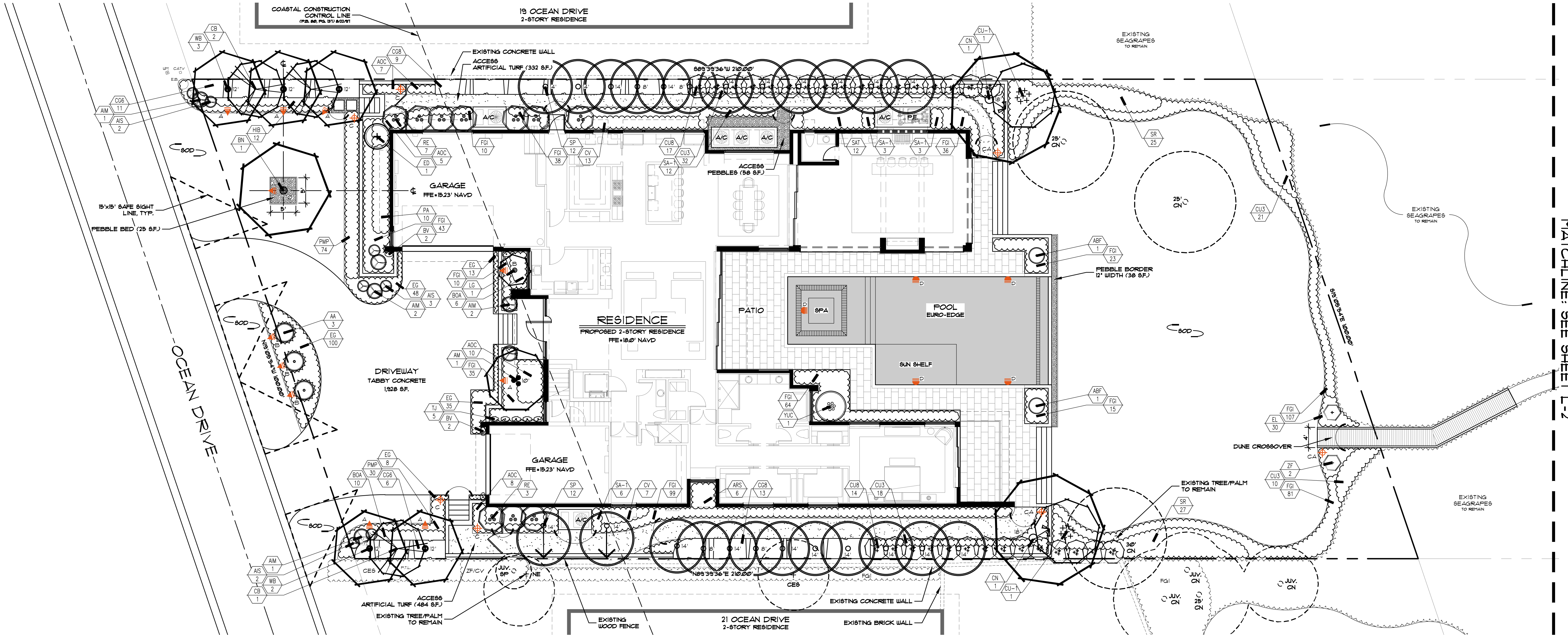
Existing Plant Key

CA = Crinum asiaticum / Crinum Lily  
CE = Cinnamodora erumpens / Bamboo Palm  
CES = Conocarpus erectus sericeus / Silver Buttonwood  
CG = Clusia guttifera / Small Leaf Clusia  
CN = Cocos nucifera / Coconut Palm  
CU = Coccoloba uvifera / Sea Grape  
CV = Codiaeum variegatum  
DRA = Dracaena  
FGI = Ficus microcarpa 'Green Island' / Green Island Ficus  
HIB = Hibiscus / Hibiscus shrub  
LJ = Ligustrum japonicum / Glossy Privet Standard  
NF = Nephrolepis falcata / Macho Fern  
NE = Neronia emarginata / Madagascar Olive  
PB = Philodendron bipinnatifidum / Selloum  
PM = Podocarpus macrophyllus / Yew  
SAT = Schefflera arboricola 'Trinitie' / Variegated Dwarf Schefflera  
SP = Sabal palmetto / Cabbage Palm  
TR = Tririx radiata / Florida Thatch Palm  
TS = Tradescantia spathacea 'Dwarf' / Dwarf Oyster Plant  
UP = Uniola paniculata / Sea Oats  
ZF = Zamia furfuracea / Cardboard Plant  
NOTE: Existing shrubs not shown on plan are to be removed.

PARKER-YANNETTE  
design group, inc.

LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
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Jupiter, Florida 33458

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Email: mail@pydg.com  
License #LA0001347



AIELLO RESIDENCE  
20 OCEAN DRIVE  
JUPITER INLET COLONY, FLORIDA  
PLANTING PLAN

DATE: 12.06.2023  
DRAWN BY: CCY/BMS  
JOB NO.: 23-116  
SCALE: 1"=10'-0"  
FILENAME: Aiello 02

REVISIONS:  
12.14.23

North arrow pointing up.

SHEET:  
L-1



CS-1



**JUPITER INLET COLONY  
BUILDING AND ZONING COMMITTEE REVIEW STANDARDS**

**MASS AND VOLUME**

**Zoning Code Section 10.1. - Development standards for single family residences.**

**Mass and Volume Distribution.** Because lots within the town are limited in size, the massing and volume of any new residential building or addition *should be sensitive to the profiles of adjacent buildings and should locate second stories adequately to reduce the apparent overall scale of the building.* Second story windows, decks, terraces, and balconies for new construction *shall be designed and located to ensure privacy for adjacent properties* to the extent possible. *(emphasis added)*

**IMPACT REVIEW STANDARDS AND DECISIONS**

**Ordinance 02-2021**

**Procedures: Standards for Review.** In performing its impact review analysis, the Building and Zoning Committee shall approve an application if the Applicant demonstrates that:

- a. The proposed development will not adversely affect the public interest; and
- b. The mass, scale and height of the proposed development is consistent with the surrounding properties and neighborhood character; and
- c. The proposed development will not adversely affect adjoining properties; and
- d. For development on waterfront properties, the proposed development is sensitive to and preserves views from adjoining properties as much as is practicable.

**Decisions: Appeals.** In performing its impact review analysis, the Building and Zoning Committee shall either approve, approve with conditions, or deny an application for development approval. In the event the Building and Zoning Committee finds that an application meets the requirements of this Section, then the application shall be approved. In the event the Building and Zoning Committee approves the application with conditions or denies the application, the Applicant may either amend its development application in compliance with the decision of the Building and Zoning Committee or may appeal the decision to the Town Commission. ...



**JUPITER INLET COLONY  
BUILDING AND ZONING COMMITTEE MEETING  
03-20-2024**

Conditions of Approval: #20 Ocean Drive

- 1) A temporary area consisting of compacted gravel shall be installed on the lot for contractor parking.
- 2) Temporary filters shall be installed in the road drains within close proximity of the site to prevent sand and silt from entering the town's drainage system. Filters shall be cleaned thoroughly weekly and after each storm event. Sand and silt in the filters shall be properly disposed and not emptied into the town's drainage system.
- 3) A temporary screen shall be installed and maintained along the front of the property that shields construction activity from view to the extent possible.
- 4) The road in front of the lot shall be swept and cleaned nightly and kept clear of debris, runoff, sand, and vegetation at all times.
- 5) The contractor shall be responsible for the repair and maintenance of any damage in the town right-of-way and on private property as the result of construction activity.
- 6) During construction, the general contractor shall provide the Town quarterly updates regarding the construction schedule, major milestones, and timeline to complete the residence. Any significant deviation from the schedule shall require review and approval by the Building and Zoning Committee.





NAVD88

1. NOT VALID WITHOUT ALL SHEETS AND THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. BEARINGS SHOWN HEREON ARE BASED ON PLAT. BEARING BASE IS THE WESTERLY RIGHT-OF-WAY LINE OF OCEAN DRIVE.
3. THIS SURVEY IS BASED ON A CLOSED GEOMETRIC FIGURE EXCEEDING A HORIZONTAL CLOSURE OF 1:10000 U.S. SURVEY FEET. WELL-IDENTIFIED FEATURES SHOWN HEREON HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AND ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BENCHMARK USED: 'T 305' (NGS), ELEVATION = 3.90' (NAVD88).
5. THE EXPECTED ACCURACY OF SPOT ELEVATIONS SHOWN HEREON IS 0.03 FEET FOR THE HARD SURFACE ELEVATIONS AND 0.1 FEET FOR NATURAL GRADE ELEVATIONS.
6. BEARINGS, ANGLES, AND DIMENSIONS SHOWN HEREON ARE FIELD MEASURED QUANTITIES UNLESS NOTED OTHERWISE AS: (P)=PLAT MEASUREMENT; (M)=FIELD MEASUREMENT; (C)=CALCULATED MEASUREMENT
7. THIS SURVEY PREPARED WITHOUT BENEFIT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS AND OTHER ENCUMBRANCES WHICH MIGHT BE REVEALED IN A SEARCH OF TITLE TO THE SUBJECT LAND.
8. THE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY NAMED IN CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PERSON, WITHOUT THE EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
9. THERE HAS BEEN NO ATTEMPT TO LOCATE ANY SUBSURFACE IMPROVEMENTS, FOOTERS, FOOTINGS AND/OR UTILITIES ON THIS PROPERTY.
10. SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12099C0179F, DATED OCTOBER 5, 2017. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
11. LOT AREA = 9.445 SQUARE FEET (0.21683 ACRES) MORE OR LESS.

LOT 34, JUPITER INLET BEACH COLONY, ACCORDING TO THE MAP OR PLAT THEREOF,  
AS RECORDED IN PLAT BOOK 24, PAGE(S) 139, OF THE PUBLIC RECORDS OF PALM  
BEACH COUNTY, FLORIDA.

1. 13 SOUTH CONSTRUCTION LLC

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

By: P. Michael Zarrella  
P. Michael Zarrella  
Professional Surveyor & Mapper #6736  
State of Florida

DATE OF LAST  
FIELD WORK:  
Jan. 15, 2024

[illegible]

# BOUNDARY AND TOPOGRAPHIC SURVEY

34 OCEAN DRIVE  
JUPITER, FLORIDA 33469

ERL VAUGHT & ASSOCIATES, INC.

URVEYORS, MAPPERS & PLANNERS

LICENSED SURVEY BUSINESS NUMBER 5879  
0075 SE BRIDGE ROAD, LORE SOUND, Z3455

9075 SE BRIDGE ROAD; HOBE SOUND 33455  
MAIL: P.O. BOX 160 HOBE SOUND, FL 33475

MAIL: F.O. BOX 160 HOBE SOUND, FL 33473  
PHONE: 772-546-8086 FAX: 772-546-8087  
EMAIL: [news@atlantic.net](mailto:news@atlantic.net)

Z-346-0000 FAX: 772-346-0000  
EMAIL: vaught@bellsouth.net

DRAWN		
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DATE		
JAN. 19, 2024		
FIELD BOOK		
241/26		
ORDER NO.		
819346		
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1		1

PCN: 32-43-40-31-01-000-0340

GOD BLESS AMERICA

PB19346-24H

FILE: .../JUPITER INLET BEACH COLONY/LOT 34/819346\_2024-01-19.DWG



THIS DRAWING WAS PREPARED BASED ON INFORMATION PROVIDED BY THE OWNER AND OR THE CONTRACTOR IN THE FORM OF A BOUNDARY SURVEY PREPARED BY RL VAUGHT AND ASSOCIATES, INC. DATED 1-19-24 DRAWING NO. **PB19346-24H** SHEET 1 OF 2. USE WITHOUT VERIFICATION WILL BE AT THE USER'S SOLE RISK. THE USER SHALL INDEMNIFY THE ARCHITECT "VILLAGE ARCHITECTS AIA" FROM ALL CLAIMS AND LOSSES RESULTING FROM SUCH USE. THE DELIVERY OF THIS DRAWING TO THE USER SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR A GUARANTEE TO ANYONE THAT CERTAIN CONDITIONS EXIST OR THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE ARCHITECT OF ANY SHOP DRAWING BASED ON THIS INFORMATION. USE OF THIS DRAWING IN NO WAY RELIEVES ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT OR OTHER MEANS.

LOT 34, JUPITER INLET BEACH COLONY, ACCORDING TO THE MAP  
OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE(S)  
139, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SUBJECT PROPERTY LIES IN FLOOD ZONE "X" (MINIMAL FLOOD HAZARD) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE MAP #12099C0179F, DATED OCTOBER 5, 2017. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

LOT 35

1. VERIFY LOCATION OF UTILITIES WITH SUBDIVISION BEFORE PROCEEDING WITH WORK.
2. DRAINAGE TO BE INDICATED ON LANDSCAPE PLAN.
3. CONNECTION INSPECTION OF UTILITIES REQUIRED PRIOR TO BACKFILL.
4. CONTRACTOR TO HAVE CERTIFIED FLORIDA SURVEYOR LAYOUT BUILDING ON LOT TO ASSURE THAT NO SETBACKS OR EASEMENTS ARE ENCLOSED.
5. CONTRACTOR SHALL PROVIDE SOIL BORING TEST AND DEMUCK AND REPAK SOIL AS REQUIRED.
6. CONTRACTOR TO PROVIDE (1) 4" AND (1) 6" PVC SLEEVE UNDER DRIVEWAY

- FLORIDA BUILDING CODE 8TH EDITION (2023)
- FBC EC FLORIDA BUILDING CODE ENERGY CONSERVATION 8TH EDITION (2023)
- FBC RE FLORIDA RESIDENTIAL CODE 8TH EDITION (2023)
- FBC MECHANICAL 8TH EDITION (2023)
- FBC PLUMBING 8TH EDITION (2023)
- NEC NFPA 70 2020 EDITION, NATIONAL ELECTRICAL CODE
- FS FLORIDA STATUTES



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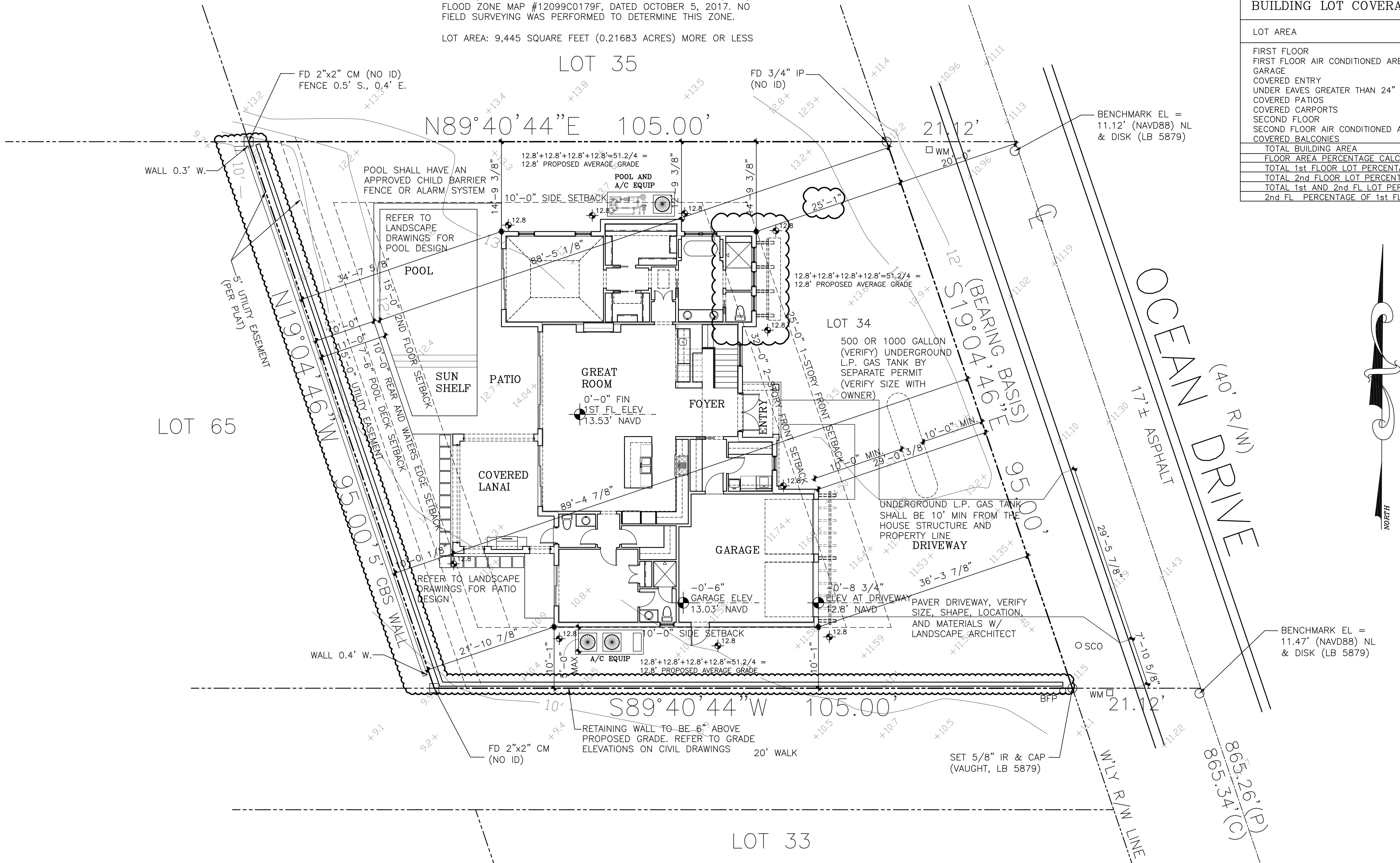
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These drawings are the  
Property of the architect  
and are not to be used  
for any other projects  
except by agreement with  
The architect in writing.

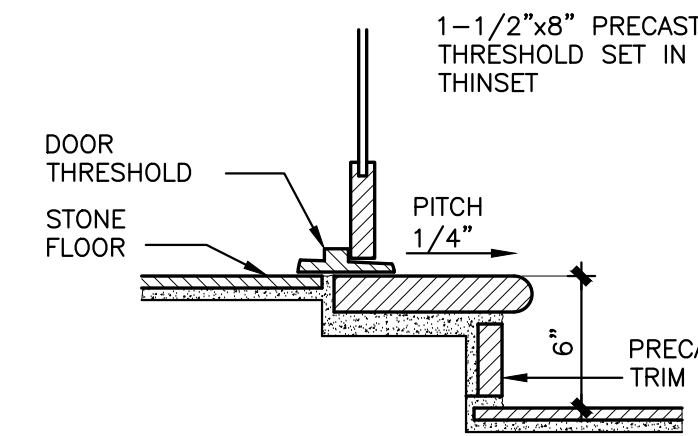
## SITE PLAN

Sheet No.

PRINT DATE: 3-12-24







**THRESHOLD DETAIL**  
SCALE: 1-1/2"=1'-0"

- STAIR NOTES:**
- TREADS SHALL NOT BE LESS THAN 10"
  - STAIRWAY HANDRAILS TO BE 34" TO 38" ABOVE LEADING EDGE OF TREAD.
  - STAIRS WITHIN DWELLING UNITS MAY HAVE HANDRAILS ON ONE SIDE.
  - STAIR HANDRAILS FOR DWELLINGS SHALL HAVE A CIRCULAR CROSS-SECTION WITH A DIA. OF 1-1/4", OR PROVIDE A NONCIRCULAR CROSS-SECTION WITH EQUIVALENT GRASP-ABILITY.
  - CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MIN. OF 1-1/2".
  - GUARD/HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION.
  - GUARDRAILS SHALL FORM A VERTICAL PROTECTIVE BARRIER NOT LESS THAN 36" IN HEIGHT.
  - OPEN GUARDRAILS AND APPLICABLE STAIR HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THRU ANY OPENING.
  - A 6" SPHERE SHALL NOT PASS THRU THE TRIANGULAR OPENING FORMED BY A TREAD, RISER AND BOTTOM OF A GUARDRAIL.

- GENERAL NOTES:**
- PROVIDE PAVED LANDINGS OUTSIDE ALL DOORS LEADING TO THE EXTERIOR
  - A/C CONDENSATE DRAIN LINES PASSING THRU NON AIR CONDITIONED AREAS MUST BE INSULATED
  - ANY A/C DUCTS PASSING THRU THE WALL IN THE GARAGE MUST BE 26 GA. SHEET STEEL OR APPROVED EQUAL 6" MIN BEYOND PENETRATION
  - CONTRACTOR SHALL VERIFY EQUIPMENT, EQUIPMENT SIZE AND CLEARANCES REQUIRED PRIOR TO CONSTRUCTING EQUIPMENT WALL ENCLOSURES OR EQUIPMENT PADS
  - PROVIDE 4" ROCK WOOL SOUND ATTENUATION BLANKETS IN ALL PARTITION WALLS
  - ALL VERTICAL SANITARY PLUMBING DROPS ABOVE GROUND FLOOR SLAB SHALL BE CAST IRON FOR SOUND ATTENUATION, TRANSITION TO PVC AT GROUND FLOOR SLAB
  - WATER SUPPLY LINES SHALL BE COPPER, PVC IS NOT ACCEPTABLE.
  - HOSE BIBBS LOCATED AT BALCONIES, COVERED PORCHES, AND COVERED LANAI'S SHALL BE IN A RECESSED "BRASS" HOSE BIBB BOX
  - PROVIDE WATER FILTER (REVERSE OSMOSIS) AT KITCHEN SINK W/ LINE TO ICE MAKER
  - PROVIDE 12" WIDE x 16" TALL RECESSED SOAP NICHE AT ALL TUBS AND SHOWERS. VERIFY LOCATION AND HEIGHT ON JOB.
  - "IMPACT" WINDOWS AND EXTERIOR DOORS THROUGHOUT
  - PROVIDE PROGRAMMABLE FLO-LOGIC DEVICE AT MAIN WATER LINE
  - WHERE STONE/TILE IS SET ON A SLAB AT THE EXTERIOR, PROVIDE AN ADDITIVE TO THE THIN SET/ MUD SET TO HELP PREVENT EFFLORESCENCE OF THE SET MATERIAL
  - CONTRACTOR TO VERIFY W/ OWNER AND/OR INTERIOR DESIGNER BACKING REQUIREMENTS FOR CABINETS, DRAPERY, MIRRORS, PAINTINGS, ETC. PRIOR TO DRYWALL.
  - ALL INTERIOR OPENINGS ARE TO BE WOOD CASED.
  - PROVIDE PAN AND 2" FLOOR DRAIN W/ DRIP BELOW ALL WASHERS AND ICE MAKERS (V.L.O.J.)
  - DRYWALL TO HAVE LEVEL 5 FINISH
  - ALL GLASS SHOWER DOORS TO BE FRAMELESS/ WOOD FLOORING TO BE NAILED DOWN OVER 3/4" PLYWOOD OVER "PROFLEX".
  - ELEVATOR TO BE A TRACTION ELEVATOR
  - CONTRACTOR TO REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW

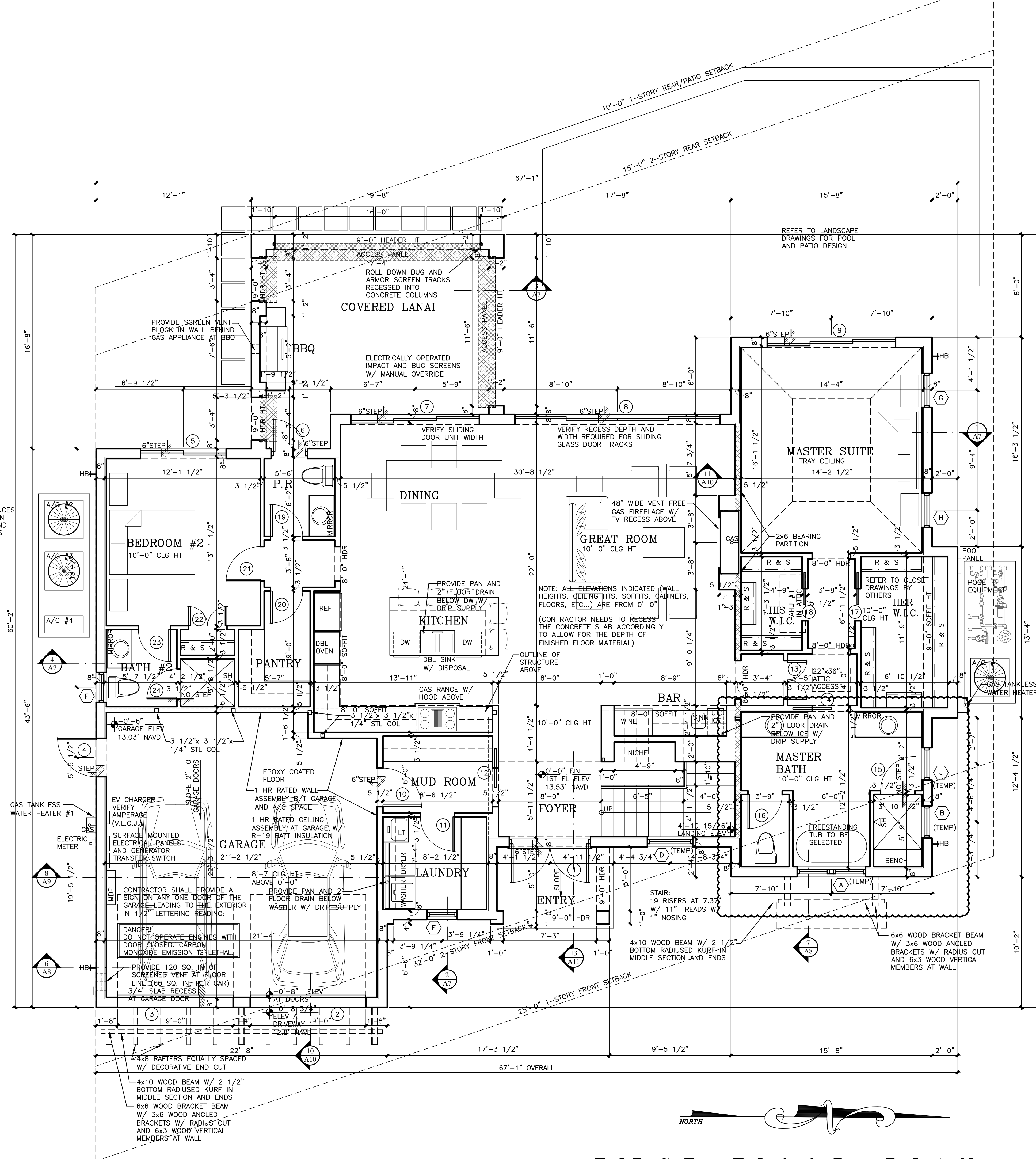
**FRAME WALL CONNECTION:**  
ATTACH INTERIOR WOOD BEARING PARTITION WALLS AND NON BEARING PARTITION WALLS TO CONCRETE BLOCK WALL THRU 2x4 P.T. OR 2x6 P.T. END STUD W/ 3/16" DIA. TAPCONS AT 16" o.c. (x2" MIN EMBEDMENT) INTO GROUT FILLED CELL OR CONCRETE COLUMN.

**1HR FIRE RATED PARTITION WALL:**  
ONE LAYER 5/8" SHEETROCK BRAND FIRECODE CORE (5/8" TYPE"X") GYPSUM PANEL (GARAGE SIDE) ON 2x4 OR 2x6 WOOD STUDS AT 16" o.c. W/JOINTS FINISHED AND OPTIONAL VENEER. (UL DES U314)

**1HR FIRE RATED CEILING ASSEMBLY:**  
ONE LAYER 5/8" FIRECODE CORE (5/8" TYPE"X") GYPSUM PANEL ATTACHED TO 1/2" RESILIENT FURRING CHANNEL. SCREW FASTENED PERP TO LOWER CHORD OF WOOD ROOF TRUSSES, SPACED 24" o.c. W/OPTIONAL 3 1/2" BATT INSULATION (UL P533)

**TYP INFILL FRAME WALL:**  
5/8" GYP BD ON 1 5/8" METAL CHANNEL FURRING AT 16" o.c. W/ BLOCKING AT 48" o.c. MAX W/ OPEN CELL SPRAY-FOAM INSULATION W/ 2x PT NAILER AT SLAB. METAL CHANNELS NOT TO BE PLACED DIRECTLY TO SLAB. 2x PT FIRE STOP AT CEILING

NO PENETRATIONS OR NOTCHES SHALL BE MADE IN ANY STRUCTURAL MEMBER INCLUDING CONCRETE BEAMS AND COLUMNS, MASONRY BLOCK AND STEEL BEAMS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD.



VERIFY EQUIPMENT SIZE AND REQUIRED CLEARANCES PRIOR TO CONSTRUCTION OF EQUIPMENT PADS AND EQUIPMENT ENCLOSURES

NOTE: PROVIDE 1'-0" MIN. CLEARANCE AROUND EACH A/C CONDENSER ALL SIDES.

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**NEW RESIDENCE**  
34 OCEAN DRIVE  
JUPITER INLET COLONY, FLORIDA  
OCEANIC HOMES

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**FIRST FLOOR PLAN**

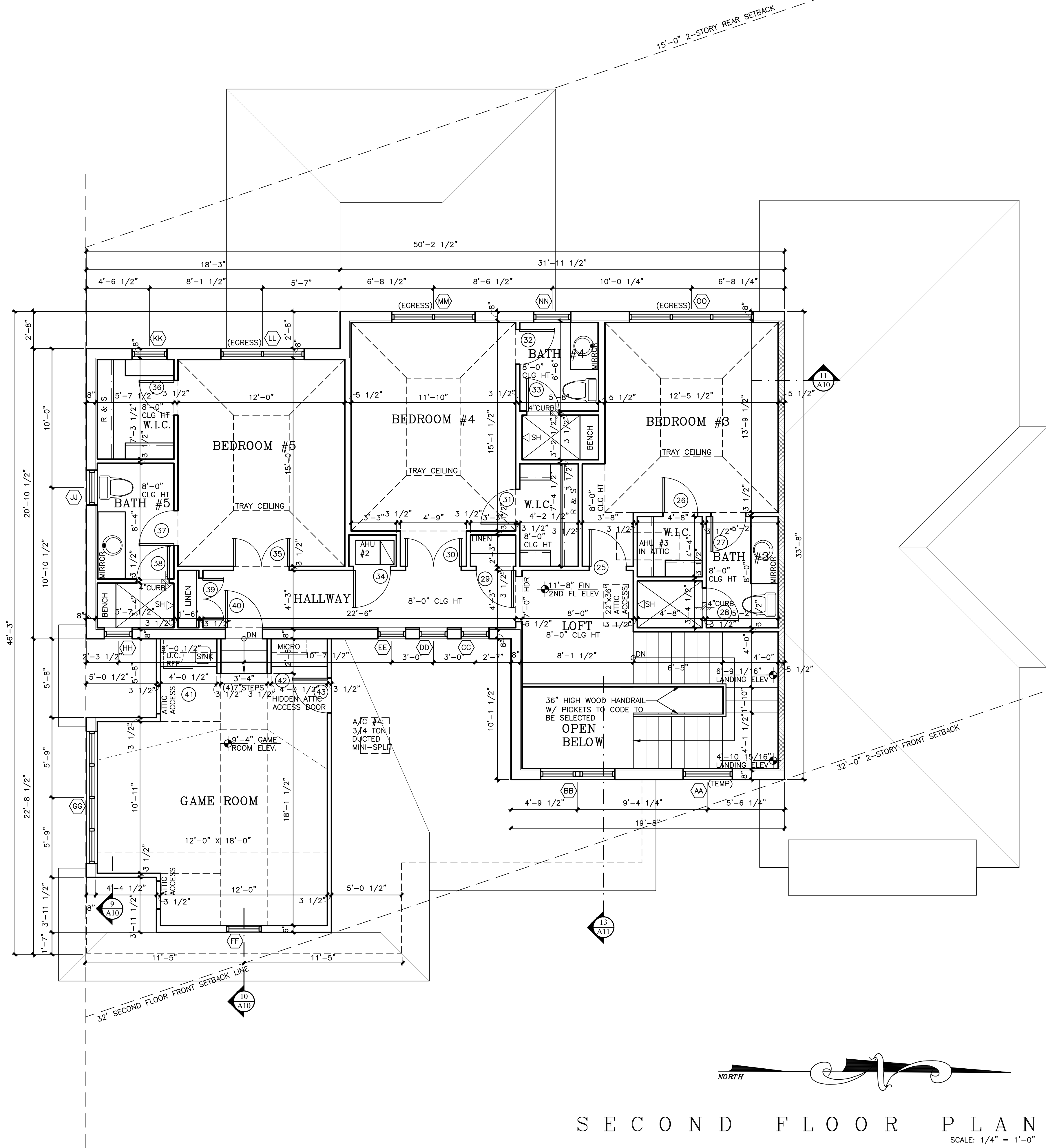
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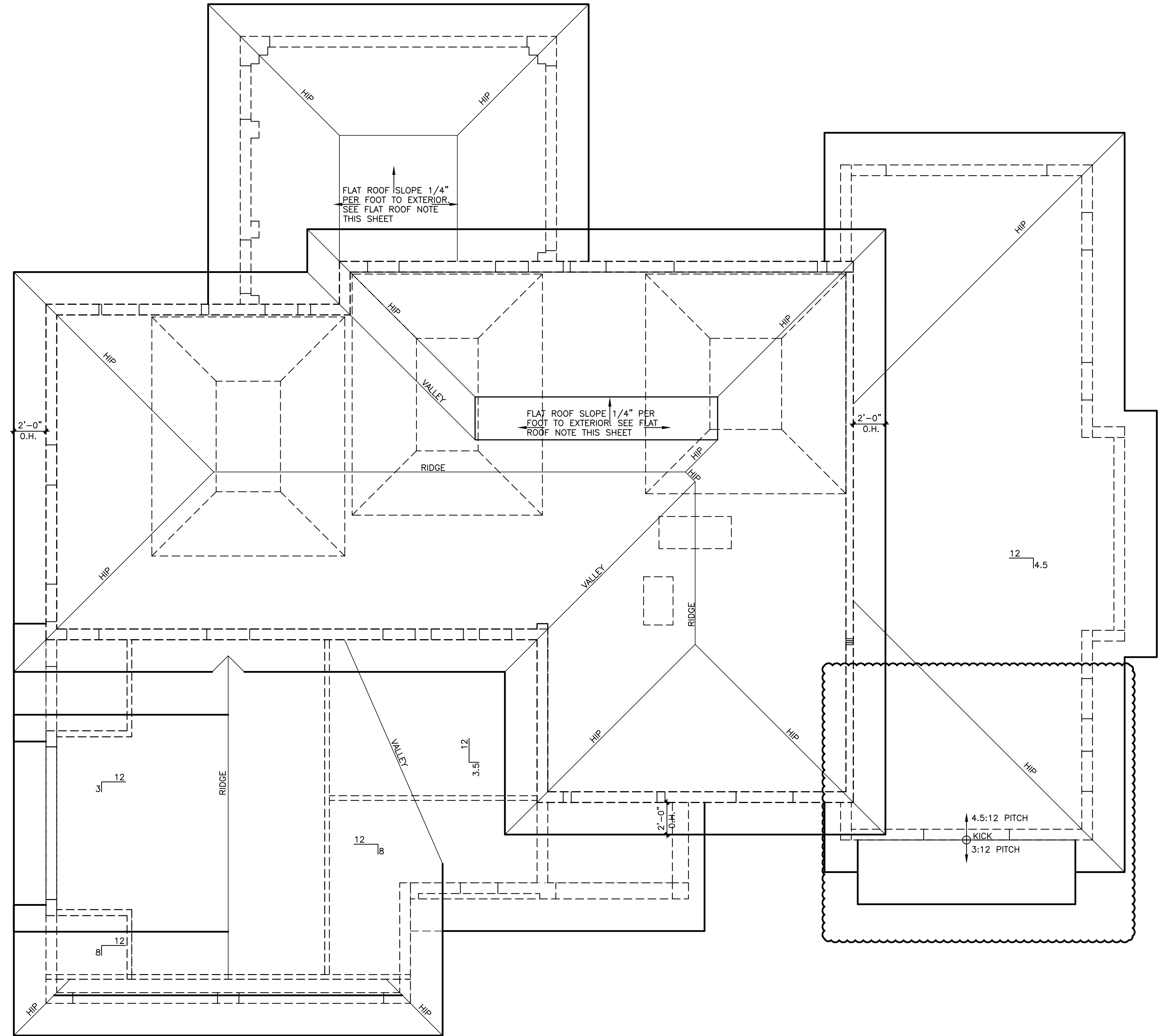


SECOND FLOOR PLAN

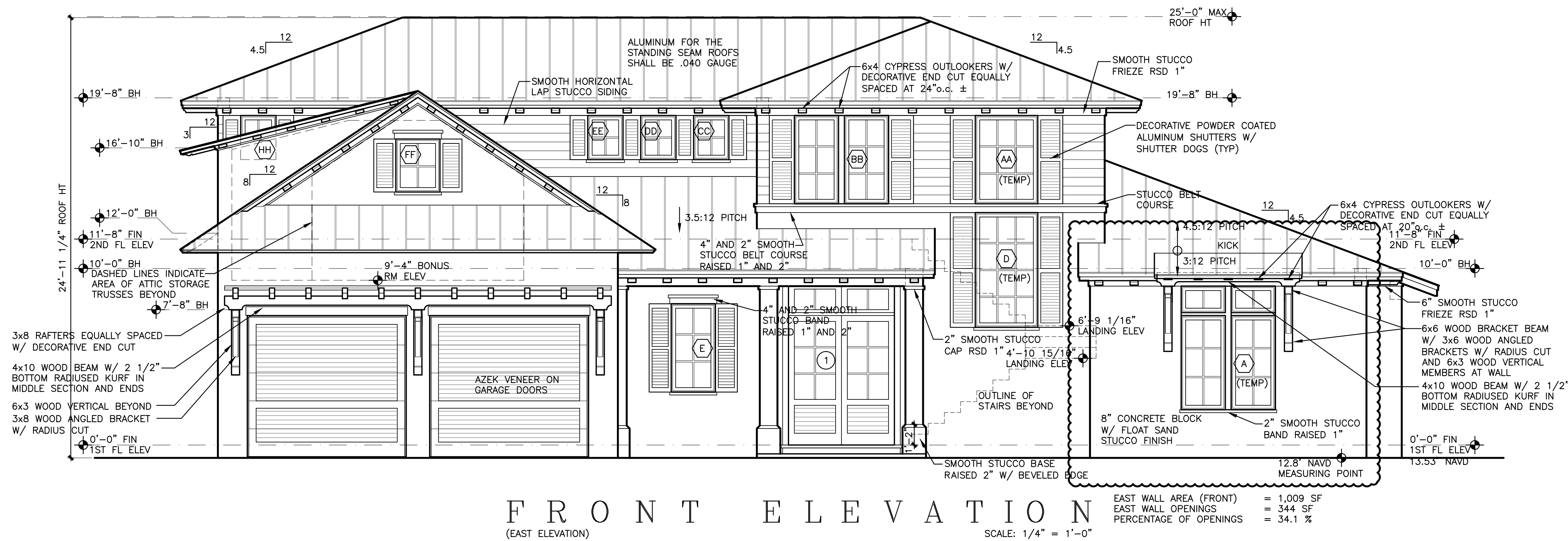
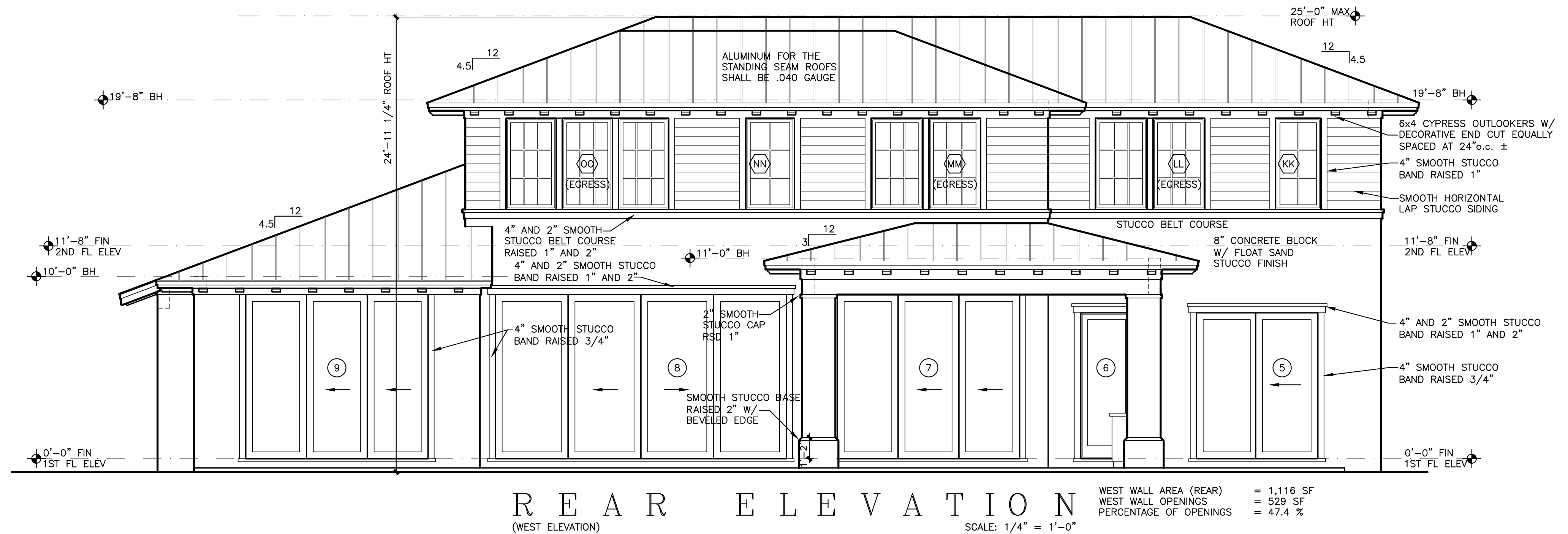
SCALE: 1/4" = 1'-0"

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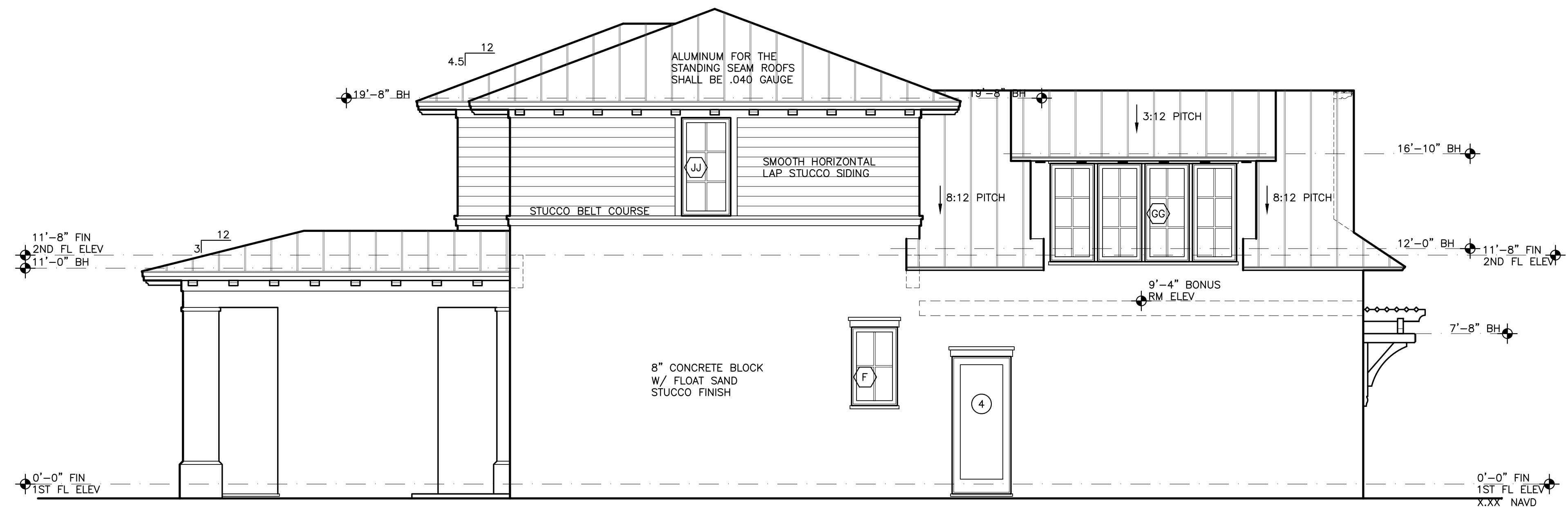
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FRONT AND REAR ELEVATIONS	
Scale: 1/4"=1'-0"	
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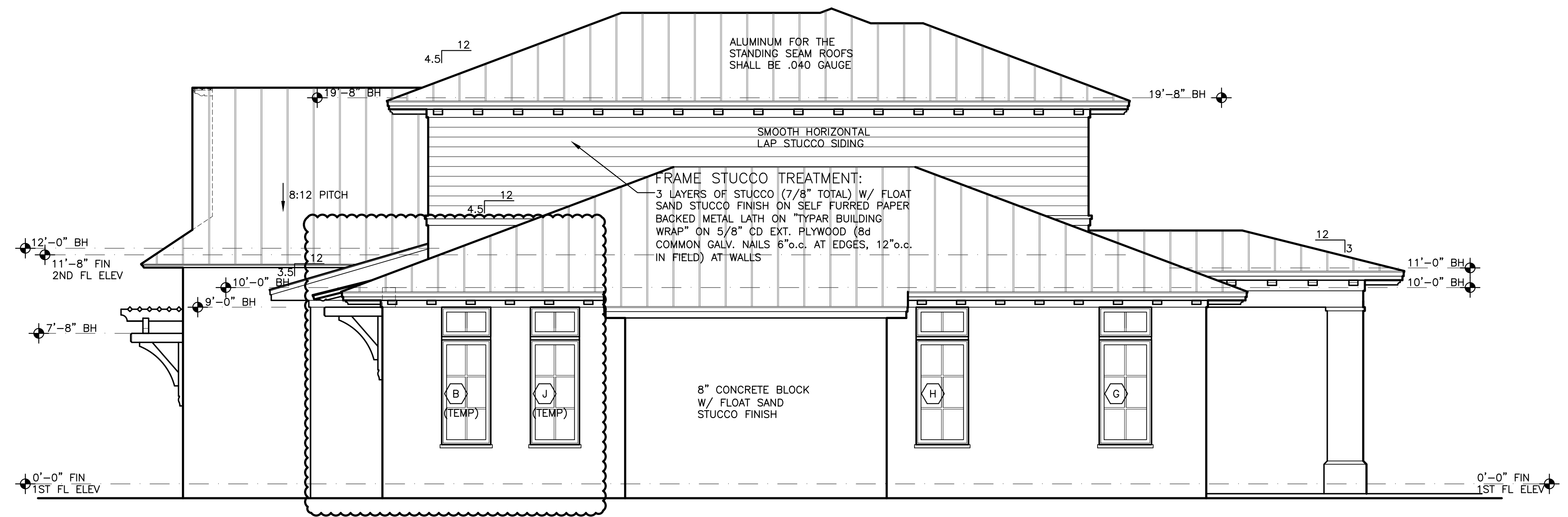
Sheet No.





LEFT ELEVATION  
SOUTH ELEVATION)  
SCALE: 1/4" = 1'-0"

SOUTH WALL AREA (RIGHT) = 882 SF  
SOUTH WALL OPENINGS = 90 SF  
PERCENTAGE OF OPENINGS = 10.2 %



RIGHT ELEVATION  
NORTH ELEVATION)  
SCALE: 1/4" = 1'-0"

NORTH WALL AREA (LEFT) = 692 SF  
NORTH WALL OPENINGS = 72 SF  
PERCENTAGE OF OPENINGS = 10.4 %

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Sheet Title:

LEFT AND  
RIGHT  
ELEVATIONS

Scale:  
1/4"=1'-0"

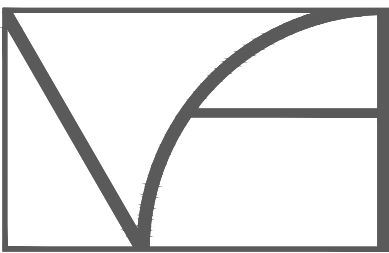
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A5





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Sheet Title:

BUILDING  
SECTIONS

Scale:

1/4"=1'-0"

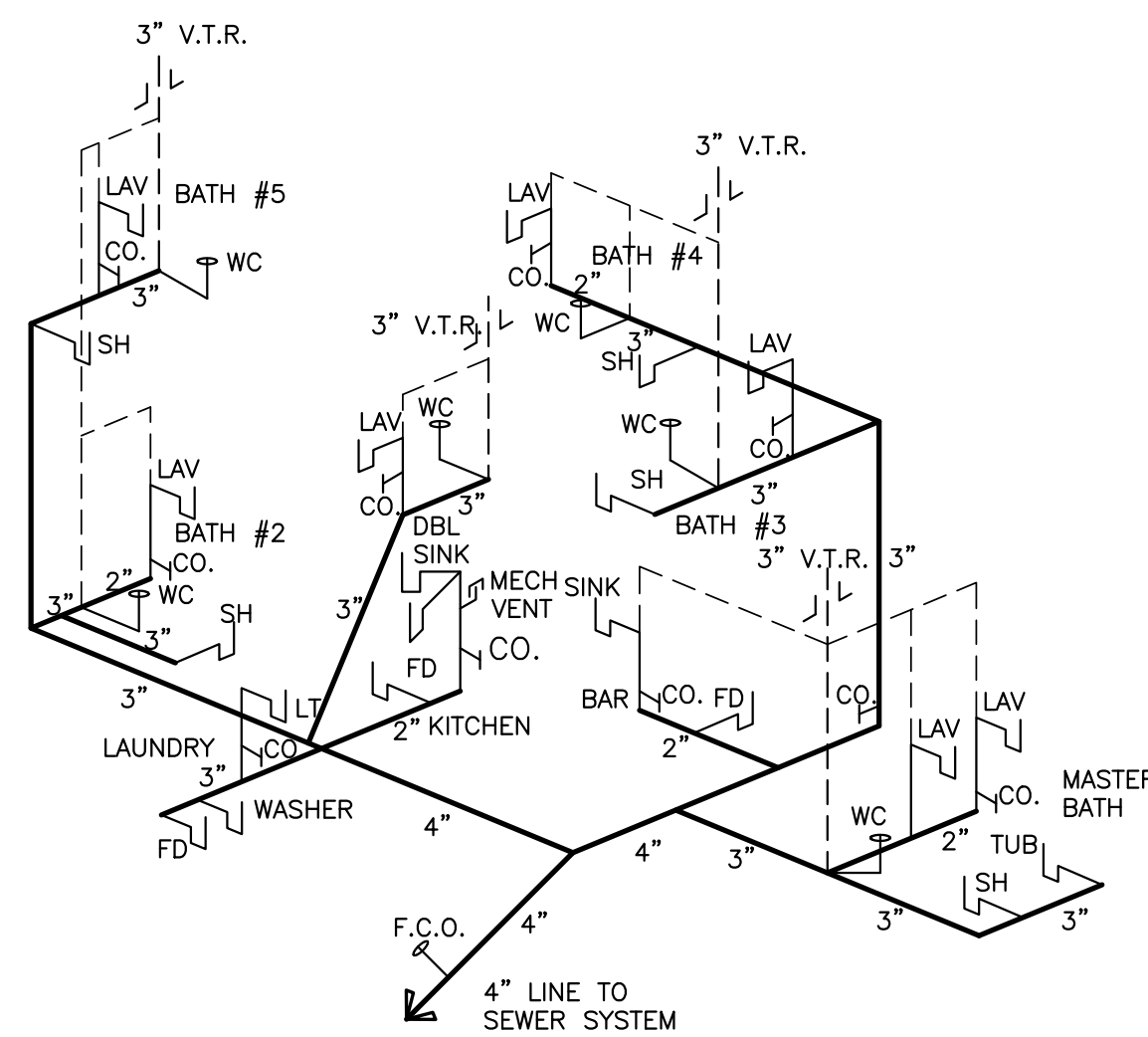
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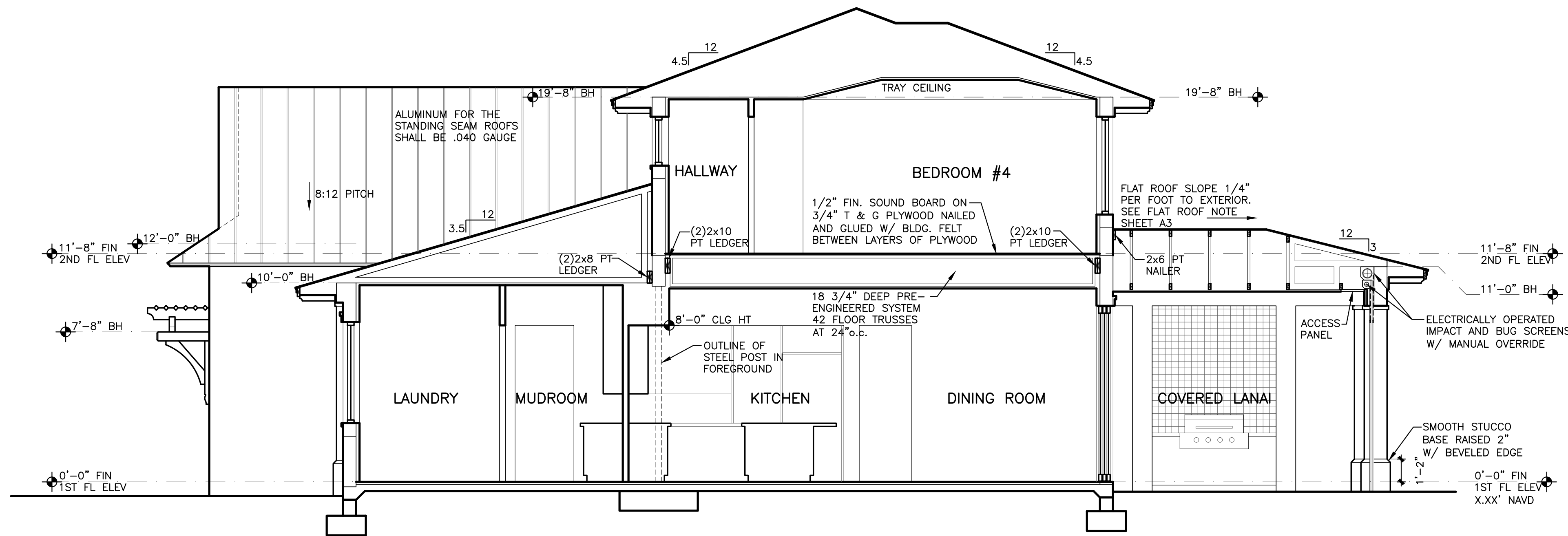
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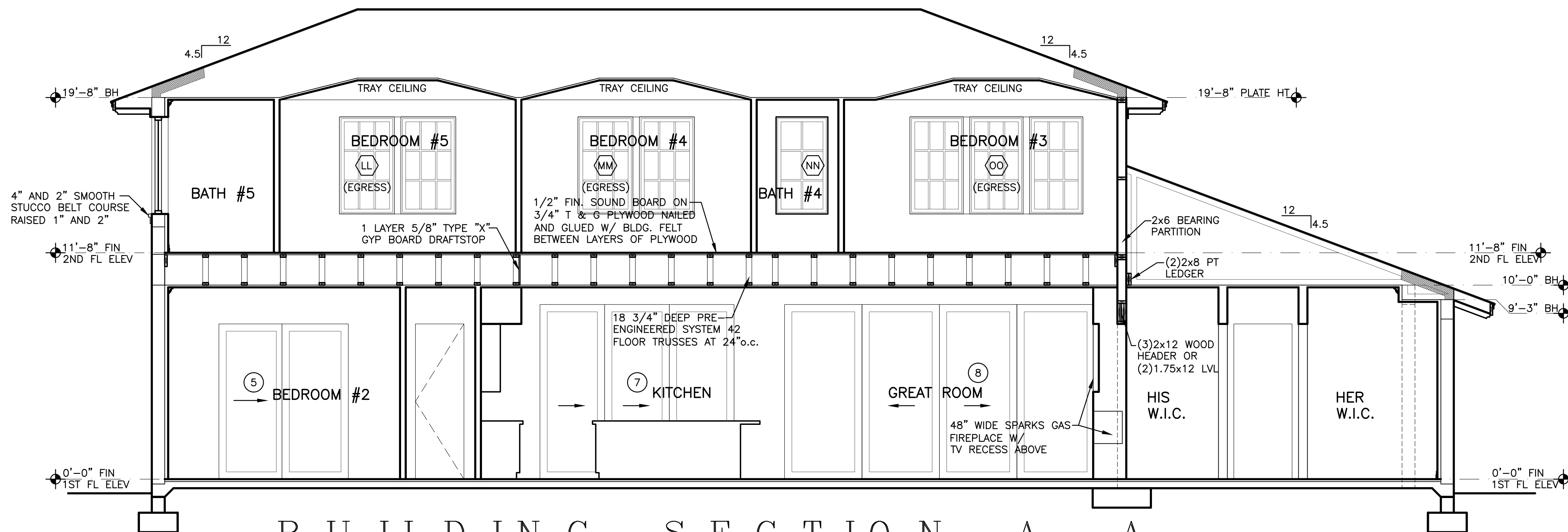


SANITARY RISER  
NO SCALE

- NOTES:
1. CONTRACTOR TO VERIFY ALL "PVC" PIPE SIZES PRIOR TO CONSTRUCTION.
  2. ROUTE "VTR" PIPES TO REAR OF STRUCTURE WHERE POSSIBLE
  3. ALL VERTICAL SANITARY PLUMBING DROPS ABOVE GROUND FLOOR SLAB SHALL BE CAST IRON FOR SOUND ATTENUATION. TRANSITION TO PVC AT GROUND FLOOR SLAB.



B U I L D I N G   S E C T I O N   B - B  
SCALE: 1/4" = 1'-0"



B U I L D I N G   S E C T I O N   A - A  
SCALE: 1/4" = 1'-0"





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**MICHAEL BABER**  
FLORIDA PROFESSIONAL ENGINEER, 52575  
(FOR STRUCTURE ONLY)

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-12-24 JIC REVIEW

Sheet Title:

DETAILS

scale:  
/4<sup>n</sup>=1'-0"

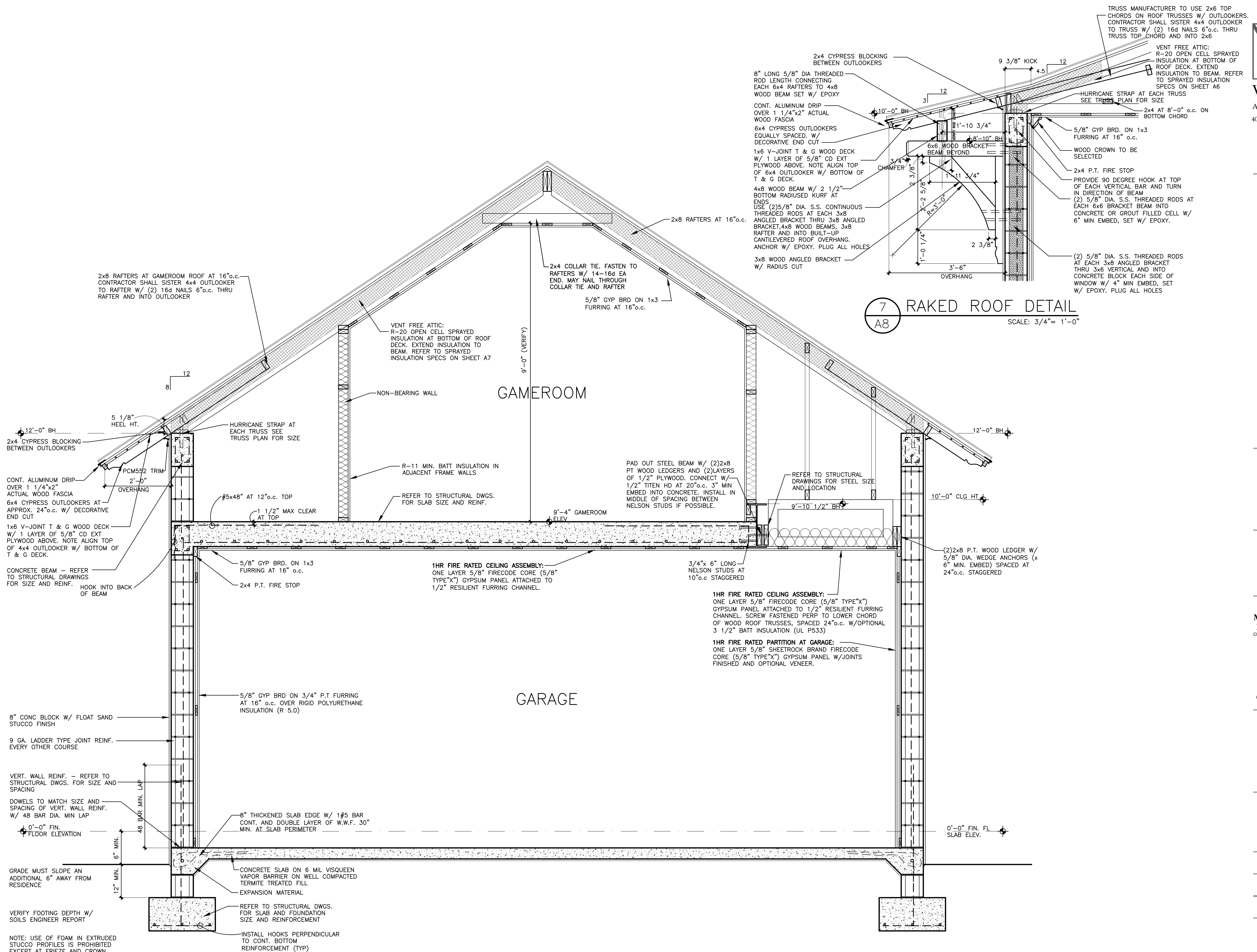
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A8

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## 6 GAMEROOM DETAIL

SCALE:  $3/4" = 1'-0"$

A8.





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SCALE: 3/4" = 1'-0"



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**MICHAEL BABER**  
FLORIDA PROFESSIONAL ENGINEER, 52576  
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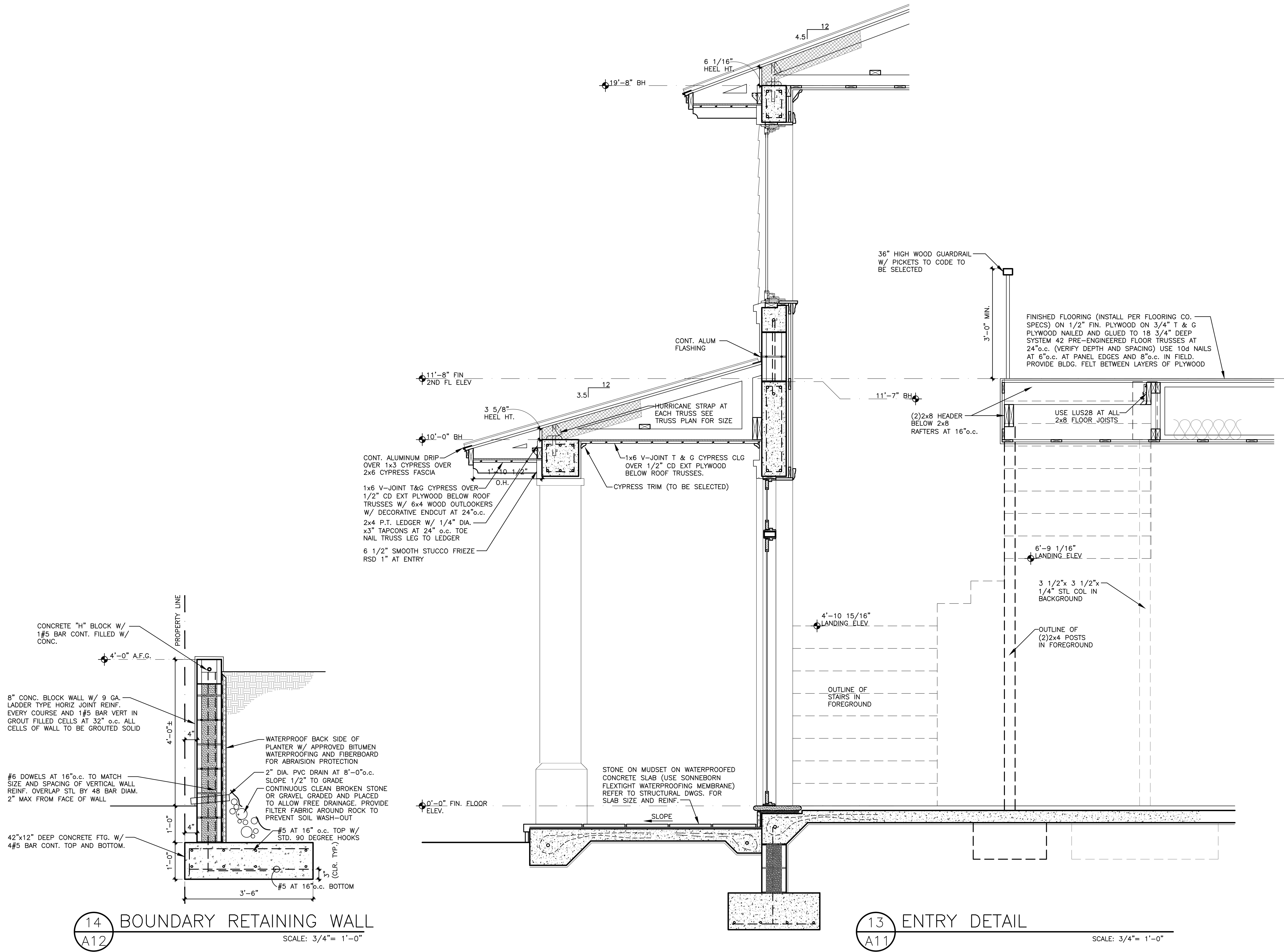
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**DETAILS**

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Sheet No.

**A11**

PRINT DATE: 3-12-24





ELECTRICAL LEGEND

LED STRIP LIGHTING

LED FIXTURE

CEILING FAN

TABLE 9-5  
FAN SIZING TABLE

TELEPHONE AND OR  
INTERNET CABLE

SMOKE DETECTOR

RECESSED LED

RECESSED LED W/ VAPOR  
PROOF LENS COVER

RECESSED LED W/ LENS COVER

LARGER RM  
DIMENSION

12 FT. OR LESS

12 - 16 FT

16 - 17.5 FT

17.5 - 18.5 FT

18.5 FT OR MORE

MINIMUM  
FAN SIZE

36 INCH

48" INCH

52" INCH

56" INCH

2 FANS

STEP LIGHT

DUPLEX RECEPT AND TV/CABLE

CEILING MOUNTED LED

DUPLEX RECEPT

220 V RECEPT

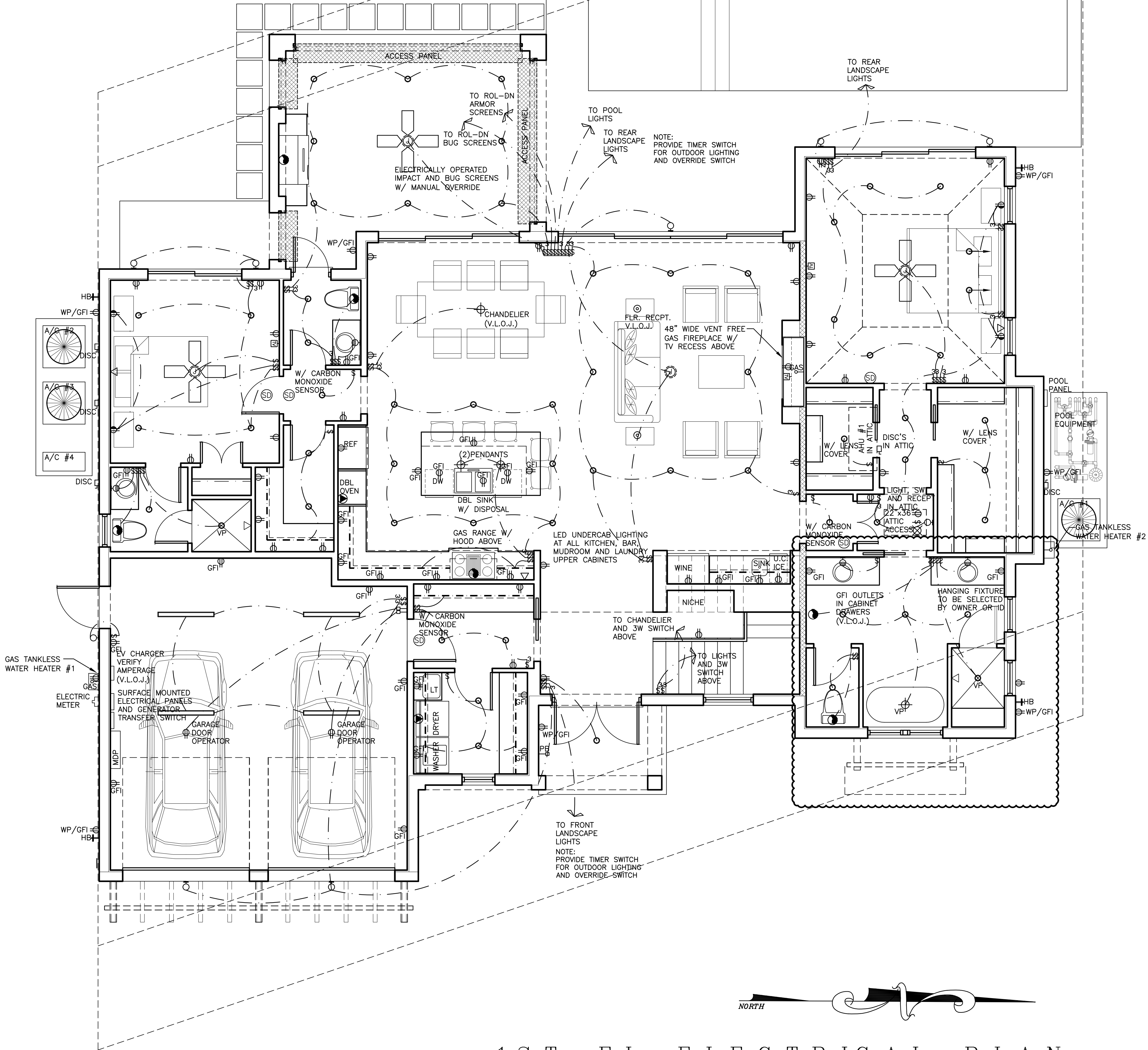
SWITCHED RECEPT

SINGLE POLE SWITCH

THREE WAY SWITCH

EXHAUST FAN

JAMB SWITCH OR  
PUSH BUTTON SWITCH



NOTE: PROVIDE 1'-0"  
MIN. CLEARANCE  
AROUND EACH A/C  
CONDENSER ALL SIDES.

TO FRONT  
LANDSCAPE  
LIGHTS  
NOTE:  
PROVIDE TIMER SWITCH  
FOR OUTDOOR LIGHTING  
AND OVERRIDE SWITCH

TO CHANDELIER  
AND 3W SWITCH  
ABOVE

LED UNDERCAB LIGHTING  
AT ALL KITCHEN, BAR,  
MUDROOM AND LAUNDRY  
UPPER CABINETS

FLR- RECP.  
V.L.O.J.  
48" WIDE VENT FREE  
GAS FIREPLACE W/  
TV RECESS ABOVE

ELECTRICALLY OPERATED  
IMPACT AND BUG SCREENS  
W/ MANUAL OVERRIDE  
TO ROL-DN  
ARMOR  
SCREENS  
TO ROL-DN  
BUG SCREENS

TO POOL  
LIGHTS  
TO REAR  
LANDSCAPE  
LIGHTS

TO REAR  
LANDSCAPE  
LIGHTS

HB  
WP/GFI

HB  
WP/GFI

HB  
WP/GFI

HB  
WP/GFI

WP/GFI  
HB

WP/GFI  
HB

WP/GFI  
HB

WP/GFI  
HB

WP/GFI  
HB

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Sheet Title:  
FIRST FLOOR  
ELECTRIC  
PLAN

Scale:  
1/4"=1'-0"

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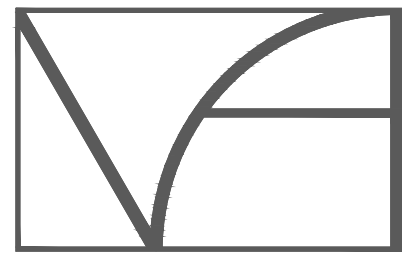
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E1

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1ST FL ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"





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SECOND FLOOR  
ELECTRIC PLAN

Scale:

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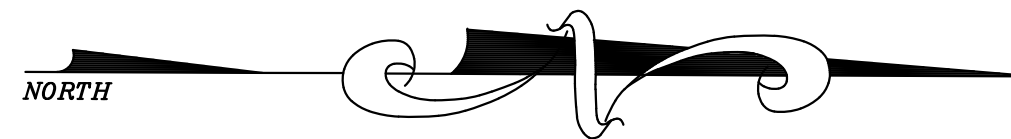
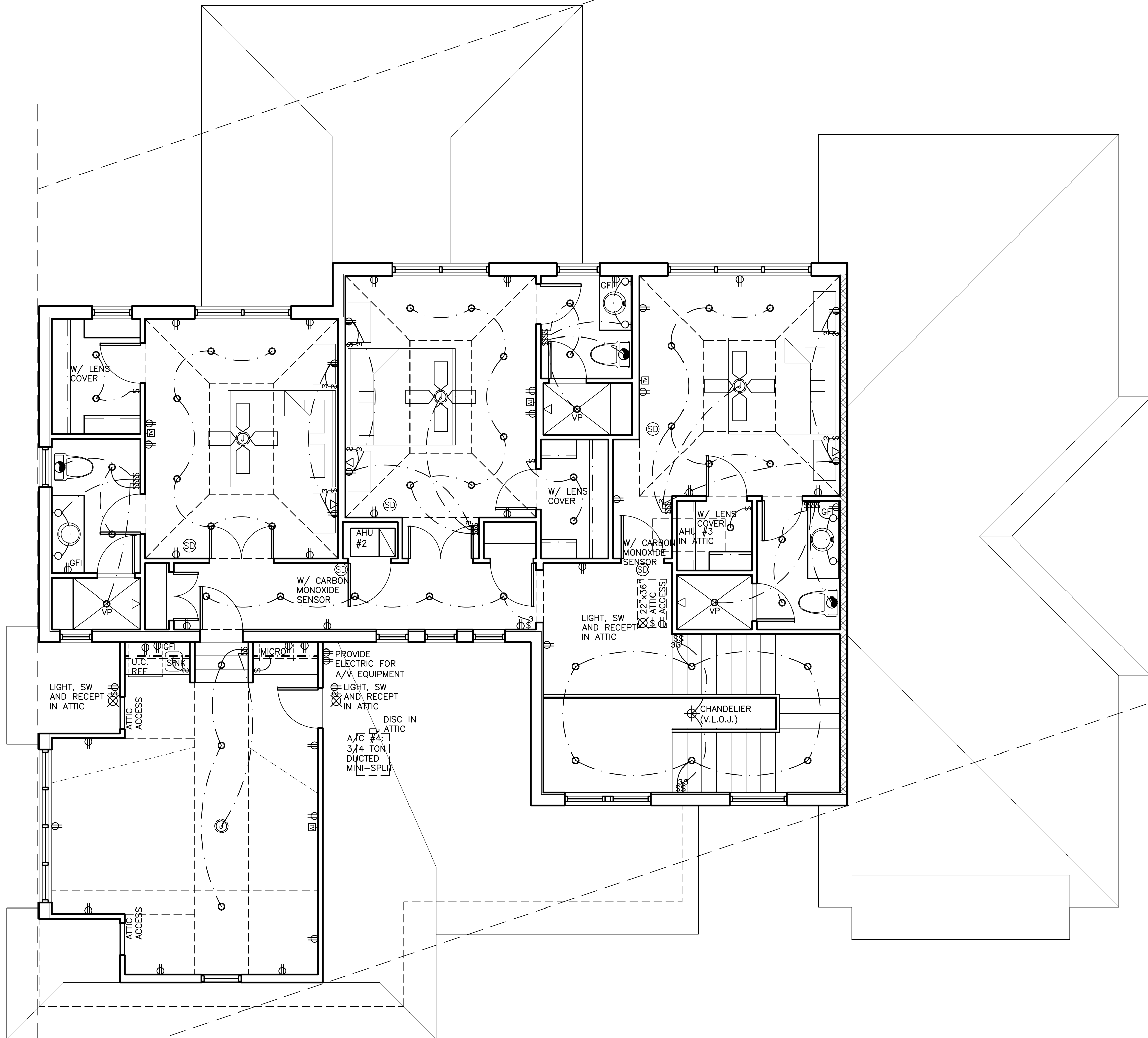
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E2

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2ND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

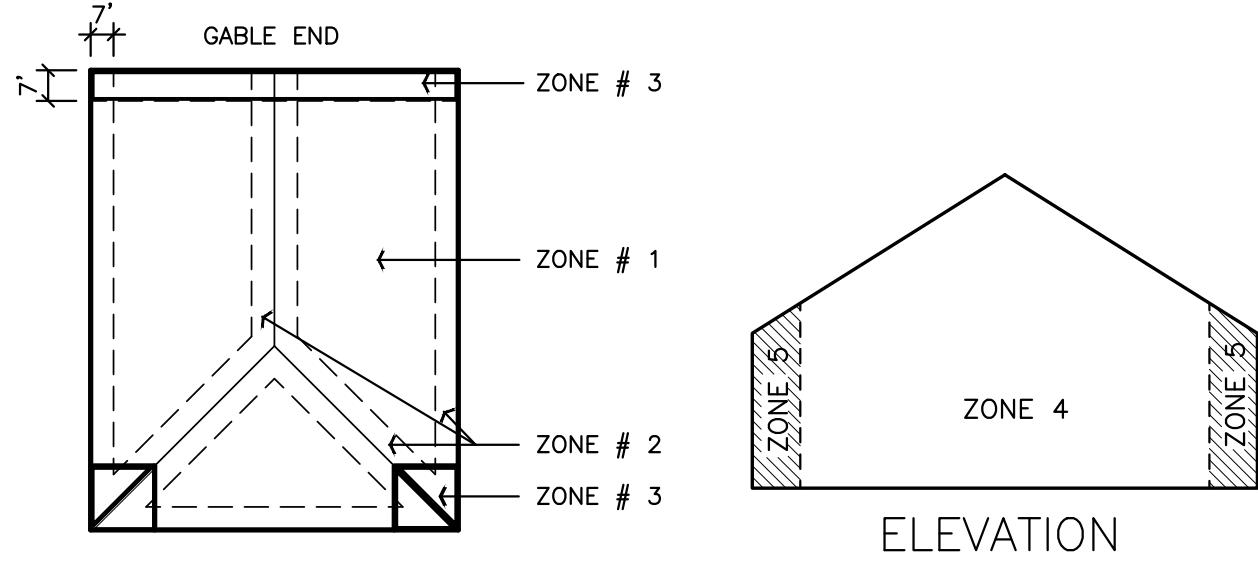
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PLYWOOD SHEATHING NAILING SCHEDULE				
(3/4" CD EXTERIOR PLYWOOD)				
ZONE	NAIL SIZE	NAIL SPACING	COMPONENTS AND CLADDING	
			+PSF	-PSF
ZONE 1	10d RING SHANK	4" O.C. AT EDGES, 6" O.C. INTERMEDIATE	37.73	67.75
ZONE 2	10d RING SHANK	4" O.C. AT EDGES, 4" O.C. INTERMEDIATE	37.73	93.48
ZONE 3	10d RING SHANK	4" O.C. AT EDGES, 4" O.C. INTERMEDIATE	37.73	93.48
ZONE 4	10d RING SHANK	6" O.C. AT EDGES, 12" O.C. INTERMEDIATE	50.60	54.89
ZONE 5	10d RING SHANK	4" O.C. AT EDGES, 8" O.C. INTERMEDIATE	50.60	67.75
NOTES: 1) GLUE DOWN SHEATHING TO TRUSSES 4'-0" IN FROM ROOF PERIMETER. 2) GLUE AND NAIL 3/4" CD EXTERIOR FLAT DECK SHEATHING WITH 10d RING SHANK NAILS AS NOTED ABOVE WITH 30# BASE SHEET TIN TAGGED TO PLYWOOD SHEATHING.				



**NAILING PATTERN**

10d RINGSHANK  
4" O.C. AT EDGES  
6" O.C. AT INTERMEDIATE

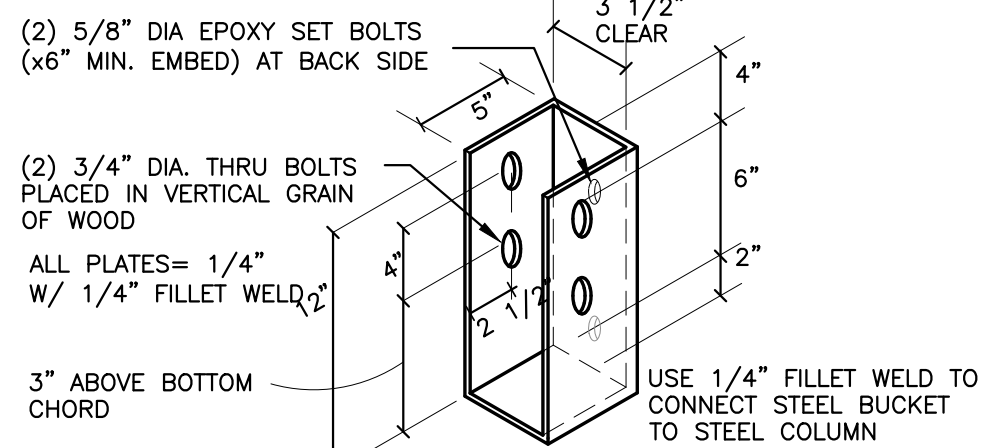
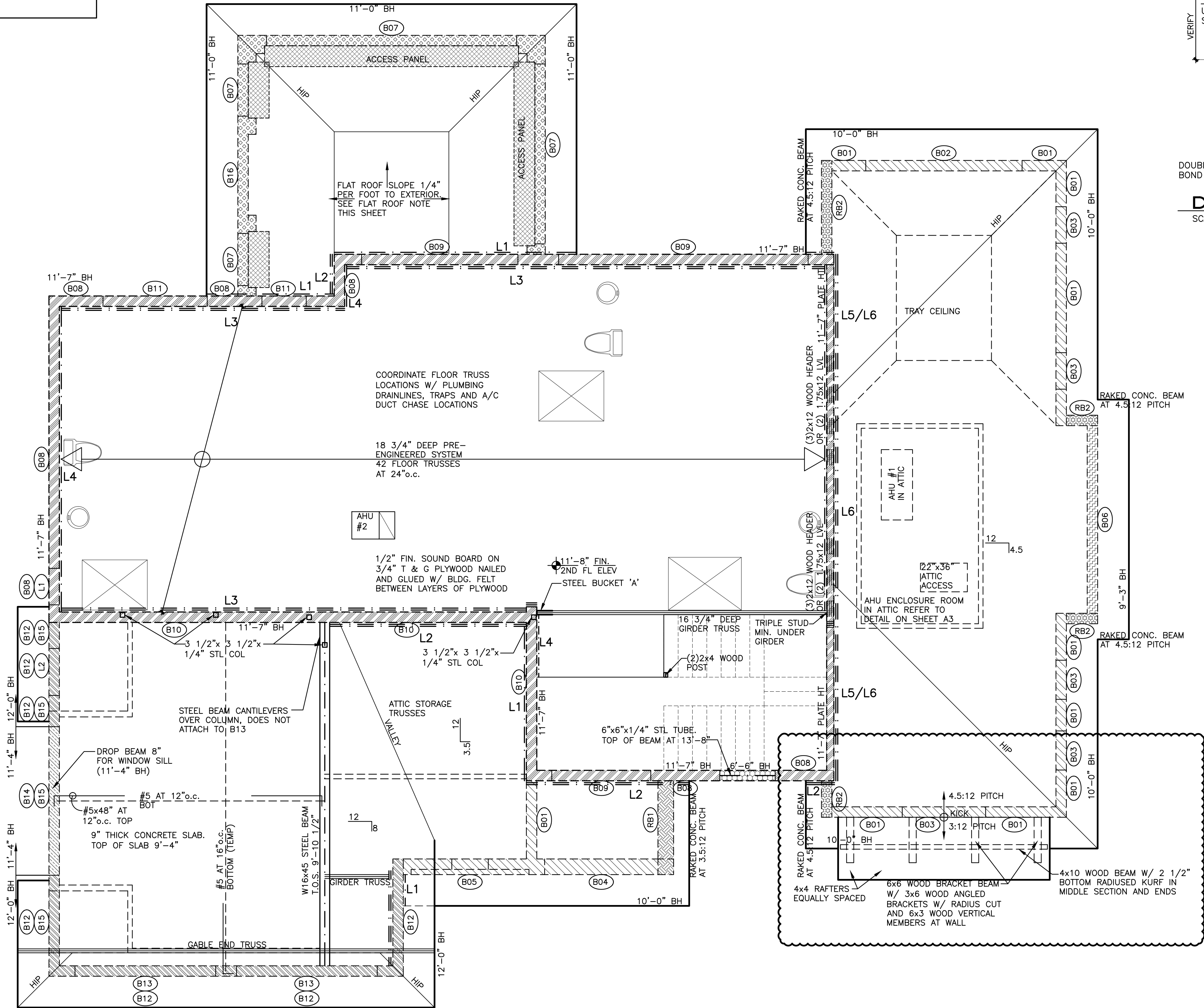
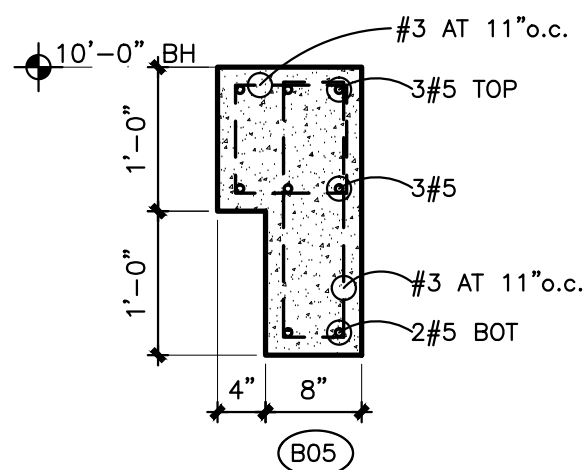
4" O.C. AT EDGES  
4" O.C. AT INTERMEDIATE

NOTE:  
GLUE DN SHEATHING TO TRUSSES 4'-0"  
IN FROM ROOF PERIMETER

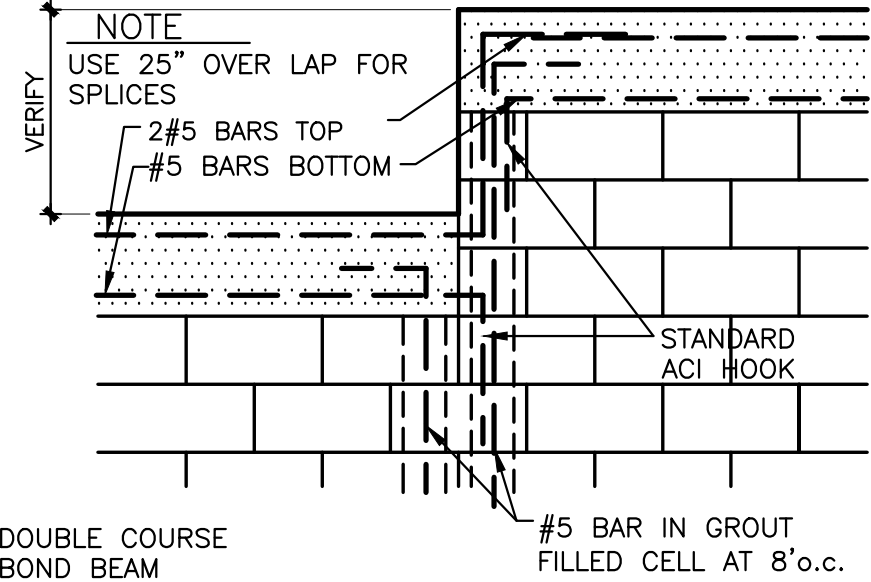
**ENHANCED NAILING AT FLAT ROOF DECKS:**  
GLUE AND NAIL 3/4" CD EXT FLAT DECK SHEATHING  
WITH 10d RING SHANK NAILS AT 4" o.c. W/ 30# BASE  
SHEET TO BE TIN TAGGED AT 4" o.c.

CONCRETE BEAM SCHEDULE					
(f <sub>c</sub> =5,000 PSI, U.N.O.)					
BEAM No.	TOP OF BEAM ELEV.	SIZE	REINFORCING		REMARKS
			BOTTOM	TOP CONT.	
RB1	VARIES	8"x12"	2 #5	2 #5	RAKED BEAM AT 3.5:12 PITCH
RB2	VARIES	8"x12"	2 #5	2 #5	RAKED BEAM AT 4.5:12 PITCH
B01	10'-0"	8"x12"	2 #5	2 #5	
B02	10'-0"	8"x24"	2 #5	2 #5	#3 AT 12" o.c. 2#5 BARS MID
B03	10'-0"	8"x12"	2 #5	2 #5	
B04	10'-0"	12"x12"	3 #5	3 #5	
B05	10'-0"				SEE DETAIL
B06	9'-3"	8"x12"	2 #5	2 #5	
B07	11'-0"	8"x24"	2 #5	2 #5	2#5 BARS MID
B08	11'-7"	8"x19"	2 #5	2 #5	2#5 BARS MID
B09	11'-7"	8"x31"	2 #6	2 #5	#3 AT 14" o.c. 2#5 BARS MID
B10	11'-7"	8"x19"	2 #7	2 #6	#3 AT 8" o.c. 2#5 BARS MID
B11	11'-7"	8"x44"	2 #6	2 #5	#3 AT 20" o.c. 2#5 BARS MID
B12	12'-0"	8"x12"	2 #5	2 #5	
B13	9'-4"	8"x20 3/4"	2 #7	2 #5	#3 AT 7" o.c. 2#5 BARS MID
B14	11'-4"	8"x12"	2 #5	2 #5	
B15	9'-4"	8"x12"	2 #5	2 #5	
B16	11'-0"	8"x12"	2 #5	2 #5	
B20	19'-8"	8"x12"	2 #5	2 #5	
B21	19'-8"	8"x12"	2 #5	2 #5	#3 AT 4" o.c.
B22	16'-10"	8"x12"	2 #5	2 #5	
L1	8'-8"	8"x8"	1 #5		8"x8" PRECAST UNTEL 550 PLF
L2	7'-2"	8"x8"	1 #5		8"x8" PRECAST UNTEL 550 PLF, OVER FIREPLACE

- BEAM NOTES:
- ALL BEAMS SHALL HAVE #3 STIRRUPS AT 24" o.c. MAX.
  - CONCRETE BEAM DEPTHS VARY + OR - 2" FOR MASONRY OPENING REQUIREMENTS
  - ALL BEAMS OVER 24" DEEP TO HAVE (2)#5 MID BARS PER 12" OF DEPTH
  - TOP BARS MAY ONLY BE LAPPED MID POINT OF LONG SPAN



#### STEEL BUCKET 'A' DETAIL



#### DOWN POUR DETAIL

SCALE 1/2" = 1'-0"

#### LEDGER SCHEDULE:

- L1** - 2x6 P.T. WOOD LEDGER FOLLOWING ROOF SLOPE. FASTEN W/ 3/16" DIA. HILTI HY150 ADHESIVE ANCHORS (x1 1/4" MIN. EMBED) AT 16" o.c. STAGGERED
- L2** - (2) 2x8 P.T. WOOD LEDGER W/ 5/8" DIA. WEDGE ANCHORS (x 6" MIN. EMBED) SPACED AT 24" o.c. STAGGERED
- L3** - (2) 2x10 P.T. LEDGER W/ 5/8" DIA. HILTI HY150 ADHESIVE ANCHORS (6" MIN. EMBED) STAGGERED 24" o.c. TOP AND BOTTOM W/ METAL STRAPS AT EA. TRUSS. VERIFY HT. OF LEDGER W/ FLOOR TRUSS DRAWINGS
- L4** - 2x8 P.T. NAILER W/ 3/16" DIA. TAPCON ANCHORS (x1 1/4" MIN EMBED) AT 16" o.c. STAGGERED
- L5** - 2x6 PRESSURE TREATED WOOD LEDGER FOLLOWING ROOF SLOPE. FASTEN W/ #10x 3 1/2" SCREWS SPACED 16" o.c. STAGGERED
- L6** - (2) 2x8 P.T. WOOD LEDGER W/ 2 ROWS OF #10 x 3" SCREWS 12" o.c. STAGGERED. CONNECT LEDGERS DIRECTLY TO EACH STUD W/ (3) #10 x 5" SCREWS

#### BEAM HEIGHT LEGEND

- 6'-6" BH
- 9'-3" BH
- 10'-0" BH
- 11'-0" BH
- 11'-4" BH
- 11'-7" BH
- 12'-0" BH
- 16'-10" BH
- 19'-8" BH/PLATE HT
- RAKED CONC. BEAM AT 2:12 PITCH
- RAKED CONC. BEAM AT 3.5:12 PITCH
- RAKED CONC. BEAM AT 4.5:12 PITCH
- RAKED CONC. BEAM AT 8:12 PITCH

Seal:

Mitchell E. Miller  
Florida License No. AR91772  
As Principal of  
Village Architects AIA, Inc.

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Consultant:  
**MCR PROFESSIONAL  
ENGINEERING, INC.**  
CERTIFICATE OF AUTHORIZATION # 26987  
3733 Atlantic Road  
Palm Beach Gardens, FL 33410  
PH: (561) 863-3393

**MICHAEL BABER**  
FLORIDA PROFESSIONAL ENGINEER, 52575

Revisions:

3-12-24 JIC REVIEW

Sheet Title:

**LOWER  
FRAMING  
PLAN**

Scale:

1/4"=1'-0"

Comm.: 23-041

Date: 12-7-23

Drawn: CRA

Checked: MEM

Sheet No.

**S2**

PRINT DATE: 3-12-24

LOWER FRAMING PLAN

SCALE: 1/4" = 1'-0"

NO PENETRATIONS OR NOTCHES SHALL  
BE MADE IN ANY STRUCTURAL MEMBER  
INCLUDING CONCRETE BEAMS AND  
COLUMNS, MASONRY BLOCK AND STEEL  
BEAMS WITHOUT WRITTEN APPROVAL BY  
THE ENGINEER OF RECORD.





NEW RESIDENCE  
34 OCEAN DRIVE  
JUPITER INLET COLONY, FLORIDA  
OCEANIC HOMES

Seal :

Mitchell E. Miller  
Florida License No. AR91772  
As Principal of  
Village Architects AIA, Inc.

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Consultant:  
**MCR PROFESSIONAL  
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CERTIFICATE OF AUTHORIZATION # 26962

**MICHAEL BABER**  
FLORIDA PROFESSIONAL ENGINEER, 52575

Revisions :

3-12-24 JIC REVIEW

Sheet Title:

UPPER  
FRAMING  
PLAN

Scale:

$$1/4'' = 1' - 0''$$

Comm. :

23-041

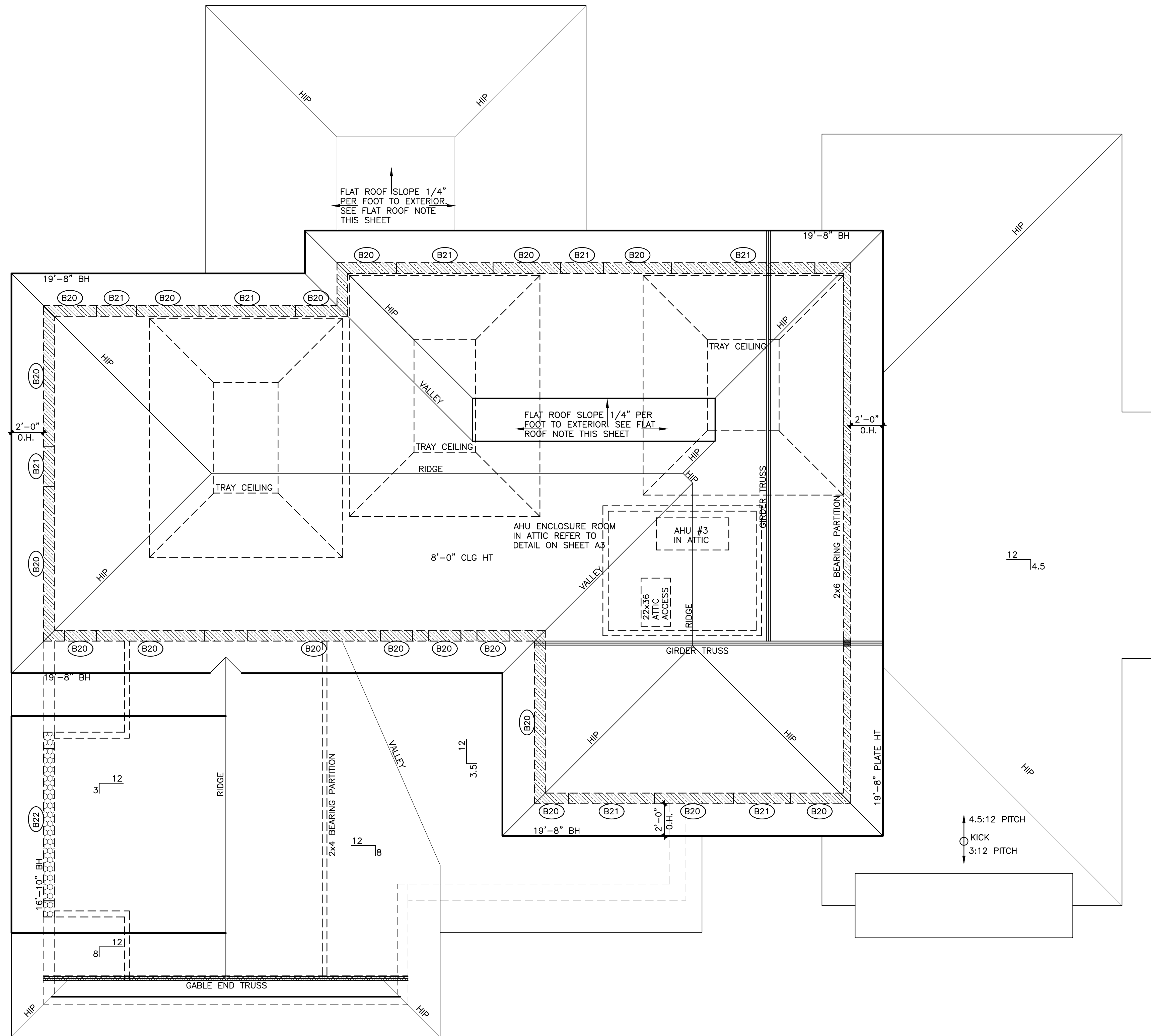
Drawn :

CRA

Sheet No. \_\_\_\_\_

S4

PRINT DATE: 3-12-24



**LEDGER SCHEDULE:**

L1 - 2x6 P.T. WOOD LEDGER  
FOLLOWING ROOF SLOPE. FASTEN W/  
3/16" DIAMETER TAPCON ANCHORS (x1  
1/4" MIN. EMBED) AT 16"o.c.  
STAGGERED

**L2 - (2)2x8 P.T. WOOD LEDGER W/  
5/8" DIA. WEDGE ANCHORS (x 6" MIN.  
EMBED) SPACED AT 24"o.c. STAGGERED**














L3 - (2) 2x10 P.T. LEDGER W/ 5/8" DIA. HILTI HY150 ADHESIVE ANCHORS (6" MIN. EMBED.) STAGGERED 24" o.c. TOP AND BOTTOM W/ METAL STRAPS AT EA. TRUSS. VERIFY HT. OF LEDGER W/ FLOOR TRUSS DRAWINGS

L4 - 2x8 P.T. NAILER W/ 3/16" DIA  
TAPCON ANCHORS (x1 1/4" MIN  
EMBED) AT 16" o.c. STAGGERED

L5 - 2x6 PRESSURE TREATED WOOD  
LEDGER FOLLOWING ROOF SLOPE.  
FASTEN W/ #10x 3 1/2" SCREWS  
SPACED 16"o.c. STAGGERED

L6 - (2)x8 P.T. WOOD LEDGER W/ 2  
ROWS OF #10 x3" SCREWS 12"o.c.  
STAGGERED. CONNECT LEDGERS  
DIRECTLY TO EACH STUD W/ (3)#10  
x5" SCREWS

BEAM HEIGHT LEGEND

	6'-6" BH
	9'-3" BH
	10'-0" BH
	11'-0" BH
	11'-4" BH
	11'-7" BH
	12'-0" BH
	16'-10" BH
	19'-8" BH/PLATE HT
	RAKED CONC. BEAM AT 2:12 PITCH
	RAKED CONC. BEAM AT 3.5:12 PITCH
	RAKED CONC. BEAM AT 4.5:12 PITCH
	RAKED CONC. BEAM AT 8:12 PITCH

NO PENETRATIONS OR NOTCHES SHALL BE MADE IN ANY STRUCTURAL MEMBER INCLUDING CONCRETE BEAMS AND COLUMNS, MASONRY BLOCK AND STEEL BEAMS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

# U P P E R F R A M I N G P L A N

SCALE: 1/4" = 1'-0"







**DESIGN CRITERIA:**  
DESIGN CODE: FLORIDA BUILDING CODE 8TH EDITION (2023)  
ACI 318-19  
ASCE 7-22

**SUPERIMPOSED LOADS:**  
**ROOF:**  
DEAD LOAD = 25 psf  
LIVE LOAD = 30 psf  
TOTAL = 55 psf  
**ATTIC STORAGE TRUSSES:**  
DEAD LOAD = 25 psf  
LIVE LOAD = 30 psf  
BOTTOM CHORD = 5 psf  
TOTAL = 85 psf  
**ROOF W/ MECH:**  
DEAD LOAD = 25 psf  
LIVE LOAD = 30 psf  
MECHANICAL = 5 psf  
TOTAL = 60 psf

WIND: WIND SPEED = 170 mph  
EXPOSURE "D"  
RISK CATEGORY II  
INTERNAL PRESSURE COEFFICIENT = 0.18  
WIND IMPORTANCE FACTOR = 1.0  
MEAN ROOF HEIGHT = 22'-7"

FOUNDATIONS: FOUNDATIONS DESIGNED FOR AN ALLOWABLE SAFE BEARING CAPACITY OF 2,500 psf.

CONCRETE: 5,000 psi WITH WATER/CEMENT RATIO=.040 FOR FOOTINGS AND SLABS ON GRADE.  
5,000 psi FOR ALL STRUCTURAL CONCRETE (U.N.O.) WITH WATER /CEMENT RATIO = 0.4 (BROOM FINISH AT ALL CONCRETE BALCONIES)

NO WATER TO BE ADDED ON SITE.  
WATER REDUCERS MAY BE USED IN MIX DESIGN  
SUBMIT CONCRETE MIX DESIGNS TO ARCHITECT/ ENGINEER FOR APPROVAL

REINFORCING STEEL: CONFORMS TO ASTM A615, GRADE 60 DEFORMED BARS.

WELDED WIRE MESH: CONFORMS TO ASTM A-185.

MASONRY WALLS: MASONRY UNITS: ASTM C-90 (f'm= 1,500 psi) MORTAR: ASTM C-270, TYPE "M" OR "S" GROUT: ASTM C-476 (PEA GRAVEL CONCRETE IS PROHIBITED)

STRUCTURAL STEEL: STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A-500, Fy = 46 ksi. STRUCTURAL STEEL PLATES SHALL CONFORM TO ASTM A-36. ALL SHOP CONNECTIONS SHALL BE WELDED UTILIZING E70XX ELECTRODES.

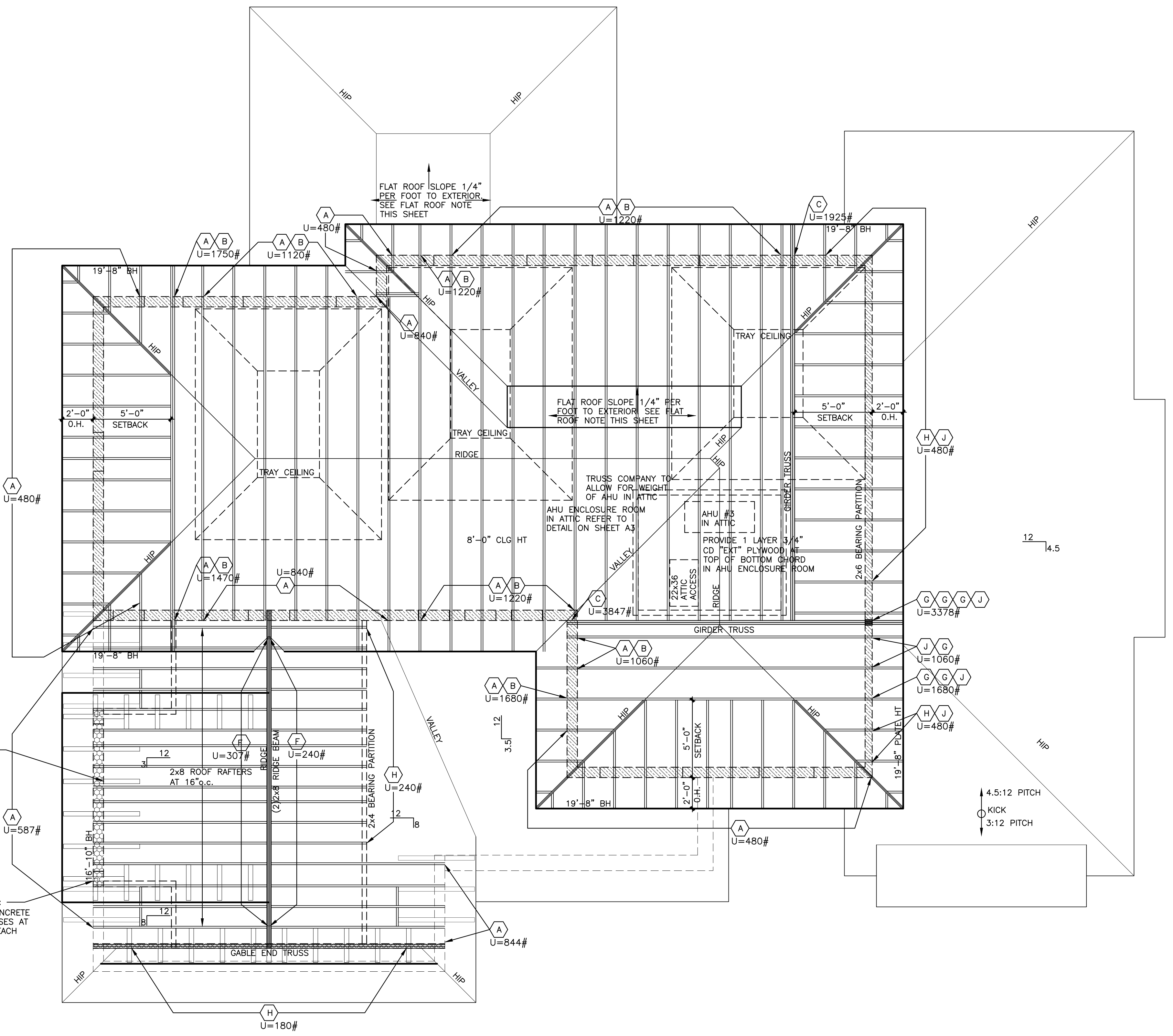
WOOD: STRUCTURAL WOOD COMPONENTS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES:  
BENDING: 1,200 psi  
SHEAR: 90 psi

WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PROTECTED OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109.

MANUFACTURED WOOD: MEMBERS DESIGNATED 'LVL'  
(e.g. , 1-3/4" x 11-7/8" LVL) SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUSSJOIST McCILLAN (MICROLLAM), OR ENGINEER APPROVED SUBSTITUTION. Fb= 3100 psi,  
E= 2,000,000 psi, Fv= 285 psi.

WHEN OUTLOOKERS DON'T ALIGN W/ TRUSSES:  
USE SIMPSON HETAL20 CONNECTOR (A) AT CONCRETE BEAM AND ADD 2x6 BLOCKING BETWEEN TRUSSES AT END OF OUTLOOKER, USE SIMPSON LS90 AT EACH CONNECTION

WHEN OUTLOOKERS DON'T ALIGN W/ TRUSSES:  
USE SIMPSON HETAL20 CONNECTOR (A) AT CONCRETE BEAM AND ADD 2x6 BLOCKING BETWEEN TRUSSES AT END OF OUTLOOKER, USE SIMPSON LS90 AT EACH CONNECTION



**LEDGER SCHEDULE:**

**L1** - 2x6 P.T. WOOD LEDGER FOLLOWING ROOF SLOPE. FASTEN W/ 3/16" DIAMETER TAPCON ANCHORS (x1 1/4" MIN. EMBED) AT 16"o.c. STAGGERED

**L2** - (2)2x8 P.T. WOOD LEDGER W/ 5/8" DIA. WEDGE ANCHORS (x 6" MIN. EMBED) SPACED AT 24"o.c. STAGGERED

**L3** - (2) 2x10 P.T. LEDGER W/ 5/8" DIA. HILTI HY150 ADHESIVE ANCHORS (6" MIN. EMBED.) STAGGERED 24" o.c. TOP AND BOTTOM W/ METAL STRAPS AT EA. TRUSS. VERIFY HT. OF LEDGER W/ FLOOR TRUSS DRAWINGS

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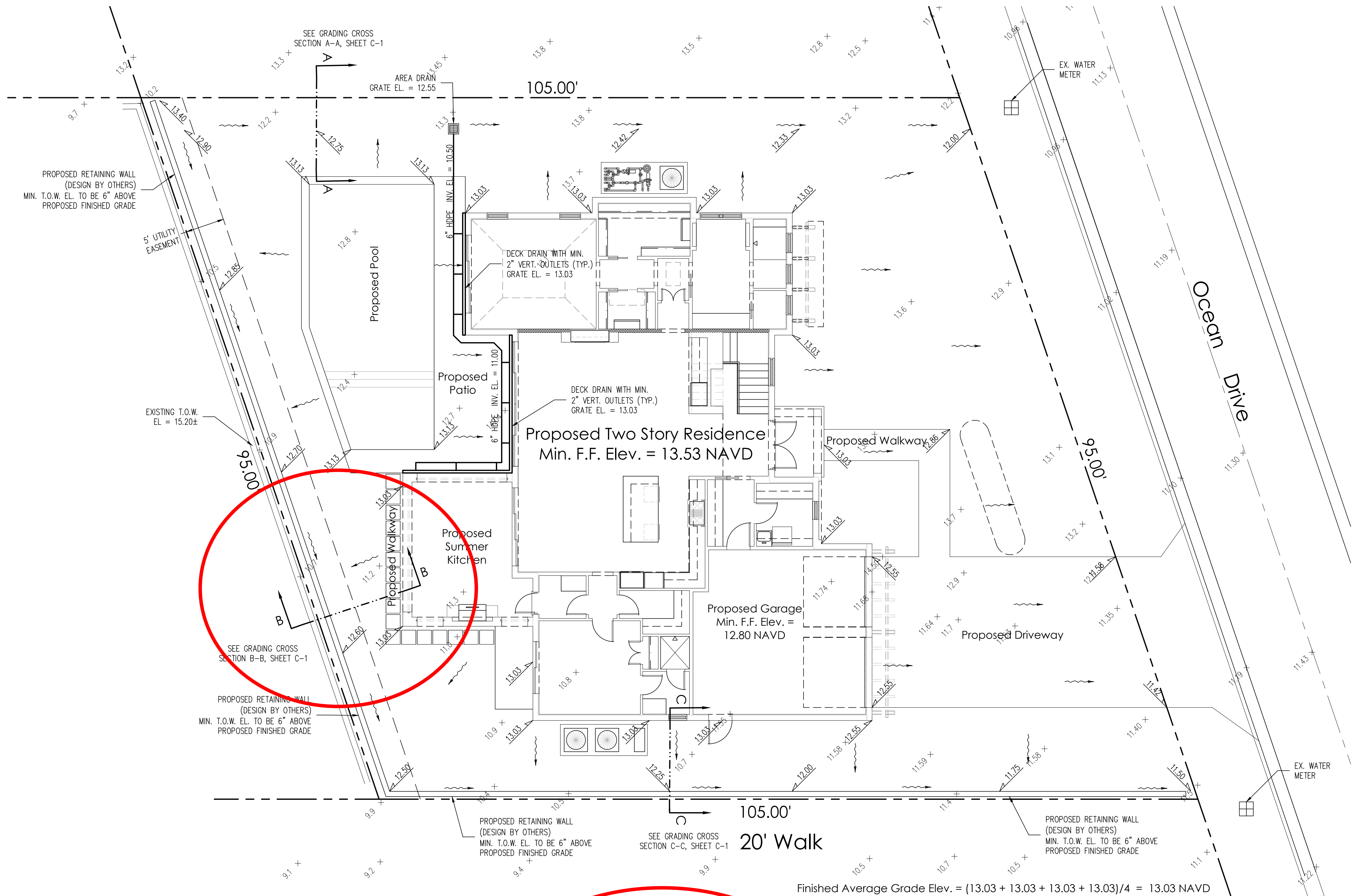
BEAM HEIGHT LEGEND

	6'-6" BH
	9'-3" BH
	10'-0" BH
	11'-0" BH
	11'-4" BH
	11'-7" BH
	12'-0" BH
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	RAKED CONC. BEAM AT 2:12 PITCH
	RAKED CONC. BEAM AT 3.5:12 PITCH
	RAKED CONC. BEAM AT 4.5:12 PITCH
	RAKED CONC. BEAM AT 8:12 PITCH

ALL TRUSS CONNECTORS SPECIFIED BASED ON A F2 FORCE OF 468# ON EACH TRUSS

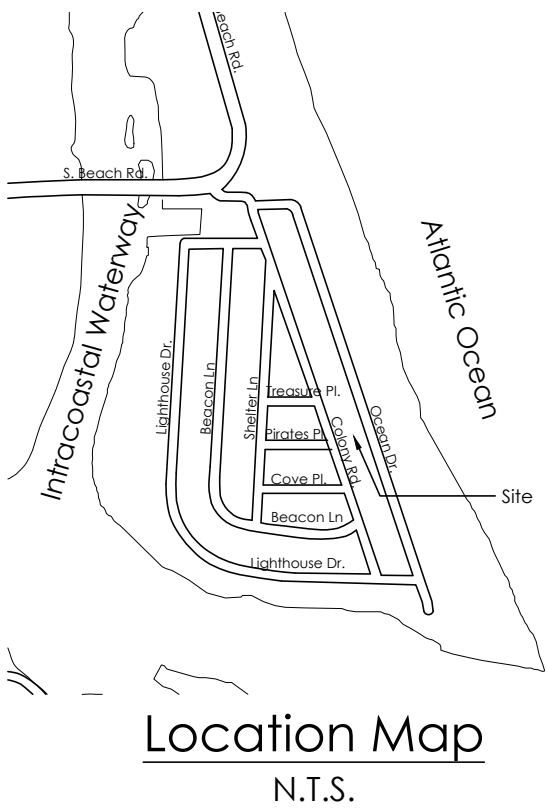
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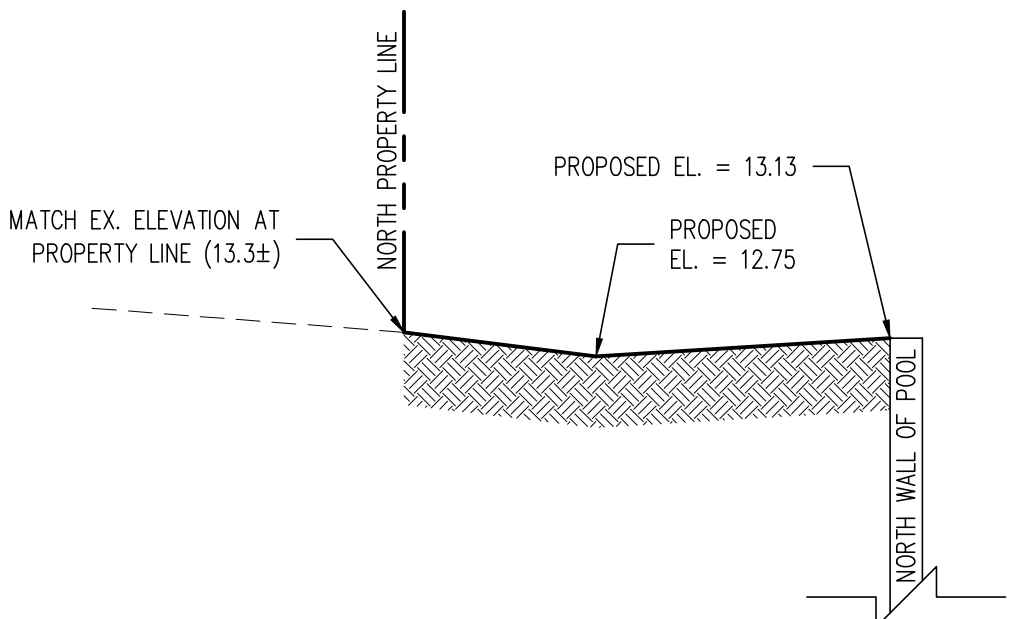
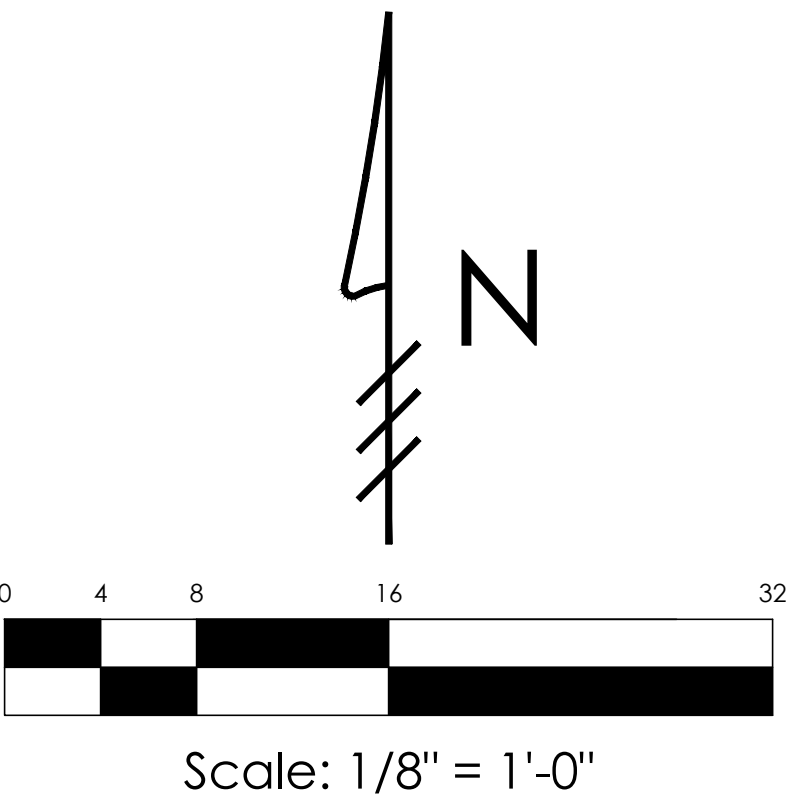
Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 4) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 5) Video inspection of storm drainage system required prior to installation of sod.

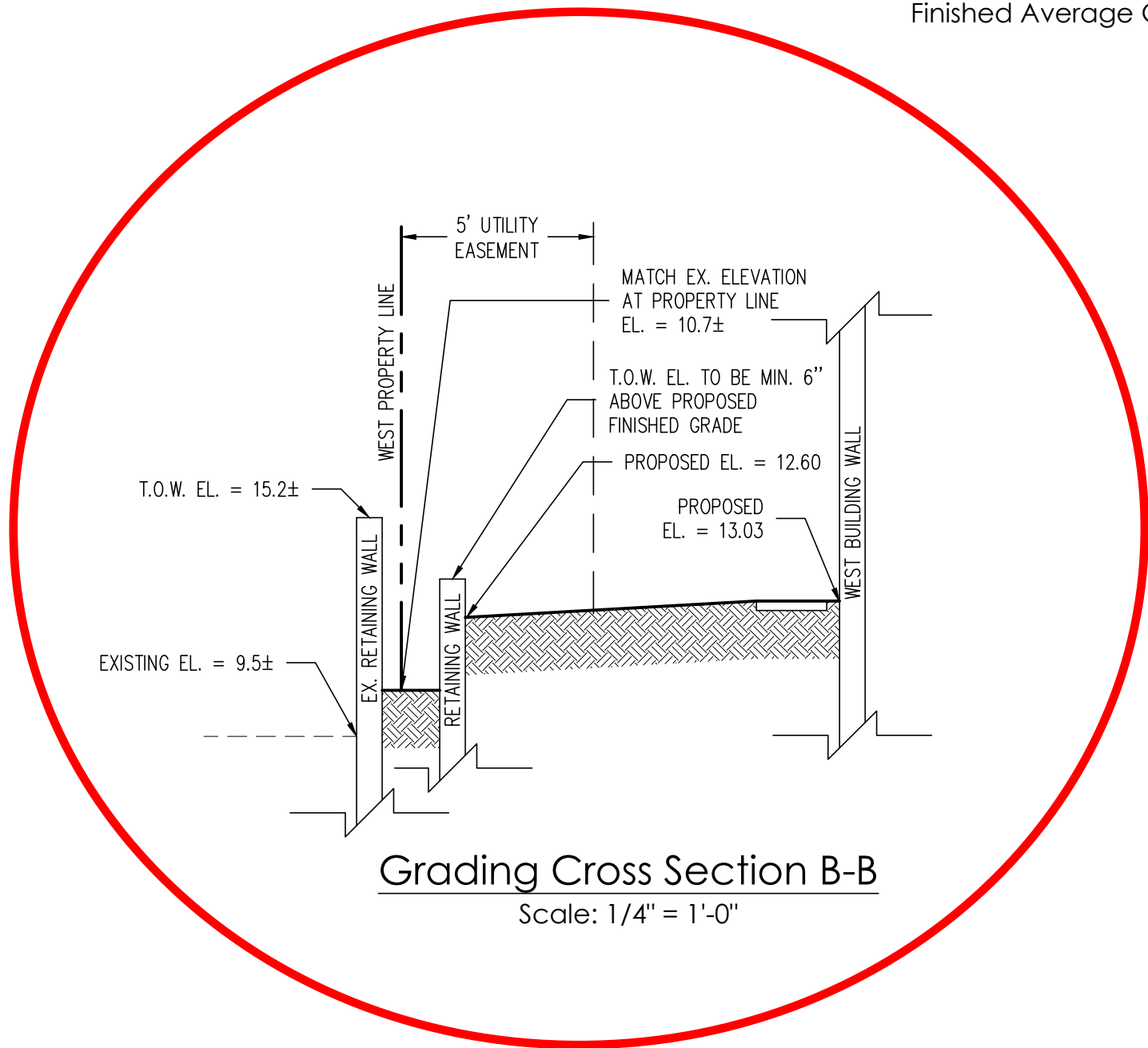


Legend

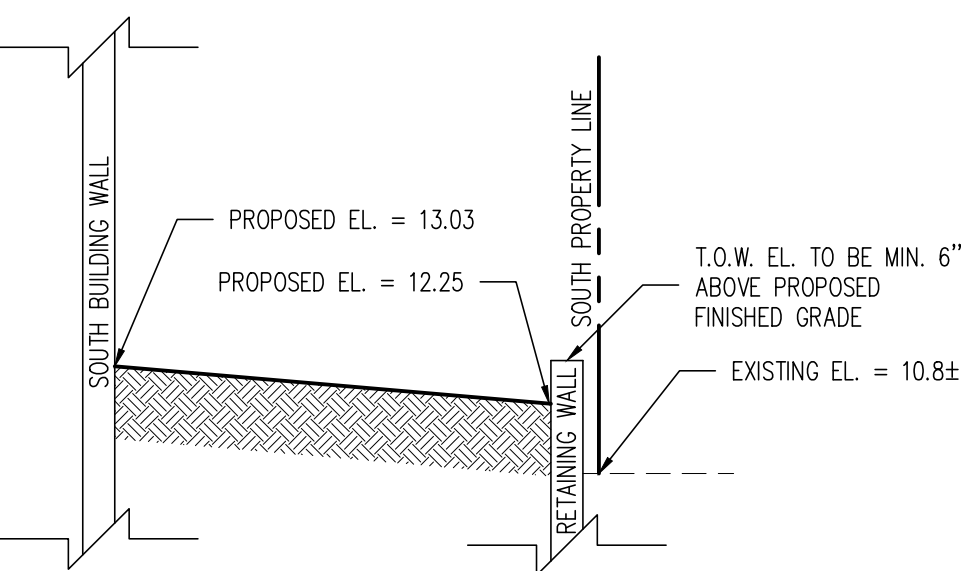
- EXISTING ELEVATION PER R.L. VAUGHT & ASSOC. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- AREA DRAIN



Grading Cross Section A-A  
Scale: 1/4" = 1'-0"



Grading Cross Section B-B  
Scale: 1/4" = 1'-0"



Grading Cross Section C-C  
Scale: 1/4" = 1'-0"

- 03/04/24 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; ADD GRADING CROSS SECTIONS
- 03/14/24 REVISE PROPOSED GRADING AND CROSS SECTIONS



GRUBER  
CONSULTING  
ENGINEERS

2475 Mercer Avenue, Suite 305  
West Palm Beach, FL 33401  
561.312.2041  
office@gruberengineers.com

48 HOURS BEFORE DIGGING,  
CALL 1-800-432-4770  
SUNSHINE STATE ONE  
CALL OF FLORIDA, INC.

Contractor is responsible for  
obtaining location of existing  
utilities prior to commencement  
of construction activities.

Site Grading & Drainage Plan For:  
**PROPOSED RESIDENCE**

34 Ocean Drive  
Jupiter Inlet Colony, Florida

PROJECT INFORMATION:

Project No.	2024-0003
Issue Date	02/01/2024
Scale	1/8" = 1'-0"

REVISIONS:

1	03/04/2024
2	03/14/2024
3	
4	
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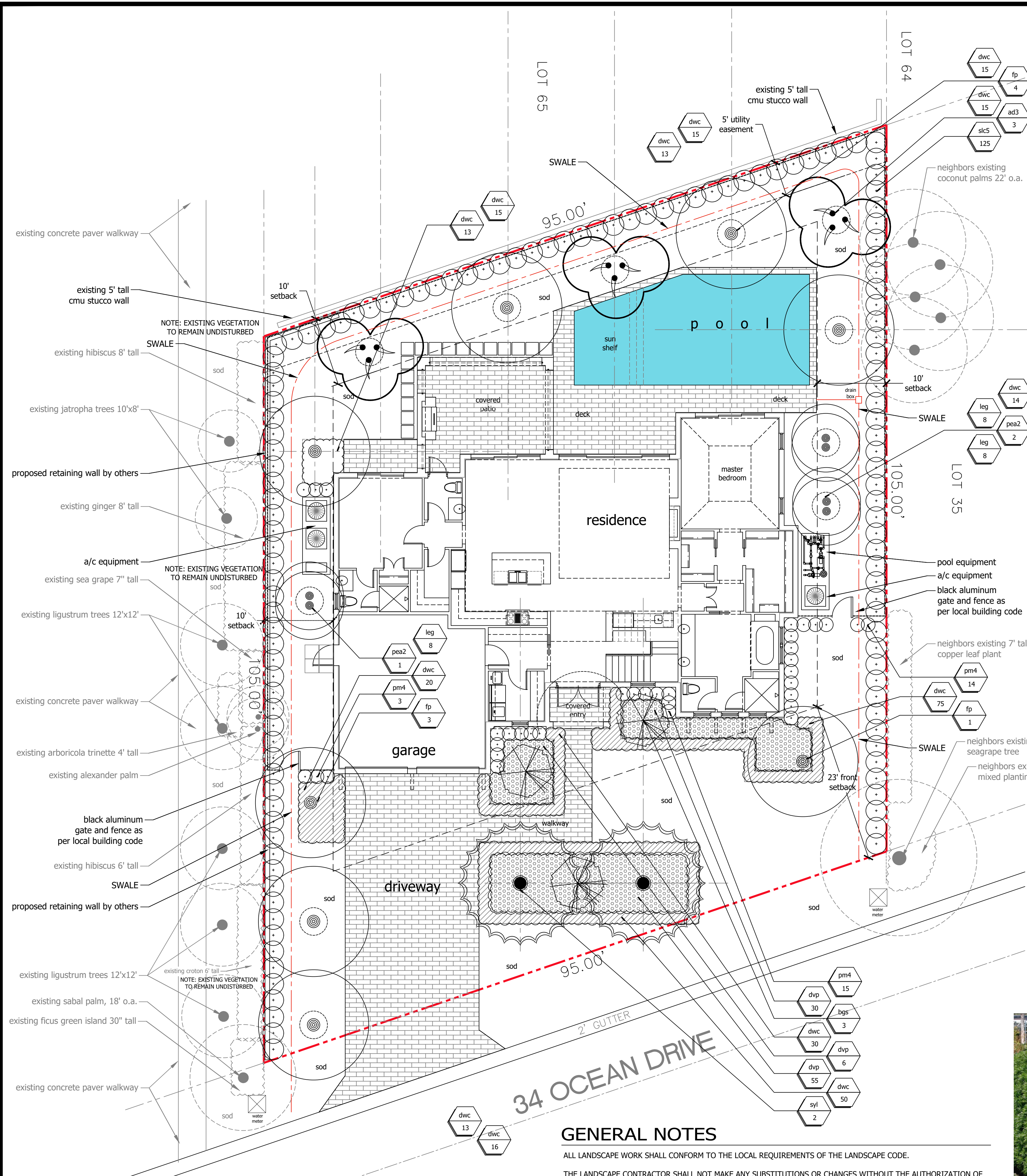
CHAD M. GRUBER  
FLORIDA P.E. NO. 57466

This item has been electronically  
signed and sealed by Chad M. Gruber  
on the date adjacent to the seal using  
a SHA authentication code.  
Printed copies of this document are  
not considered signed and sealed and  
the SHA authentication code must be  
verified on any electronic copies.

SHEET NUMBER:

C-1





**GENERAL NOTES**

ALL LANDSCAPE WORK SHALL CONFORM TO THE LOCAL REQUIREMENTS OF THE LANDSCAPE CODE.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR CHANGES WITHOUT THE AUTHORIZATION OF THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR BE RESPONSIBLE FOR ALL PERMITS RELATING TO HIS/HER WORK.

PLANT MATERIAL USED SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'GRADE AND STANDARDS' LATEST EDITION.

THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/CUT OFF SWITCH

**PLANT LIST**

TREES/PALMS						
SYM.	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
AD3	3	ADONIDIA MERRILLII	ADONIDIA PALM	12' O.A. TRIPLE STEM	A.S.	MATHCED
BGS	3	BOUGAINVILLEA TREE	BOUGAINVILLEA TREE	6'X4' MIN, MAGENTA	A.S.	MATHCED
FP	10	WODYETIA BIFURCATA	FOXTAIL PALM	10' WOOD	A.S.	MATCHED, FULL HEADS
PEA2	3	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	16' O.A., DOUBLE STEM	A.S.	FULL HEALTHY GROWTH
SYL	2	PHOENIX SYLVESTRIS	SYLVESTER PALM	8' WOOD DIAMOND CUT, THICK TRUNK ONLY	A.S.	MATCHING, FULL HEADS
SHRUBS/ACCENTS						
DVP	91	PITTOSPORUM TOBIRA 'SHIMA'	DWARF PITTOSPORUM	#3, 18"X18" MIN	2' O.C.	FULL HEALTHY GROWTH
DWC	137	CARISSA MACROCARPA	DWARF CARRISA	#3, 16"X14" MIN	18" O.C.	FULL HEALTHY GROWTH
PM4	32	PODOCARPUS MACROPHYLLUS	PODOCARPUS	4'X2'	20" O.C.	FULL HEALTHY GROWTH
SLC5	125	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	5'X2.5' MIN.	A.S.	FULL HEALTHY GROWTH
MISCELLANEOUS						
MULCH:		2-3" SHREDDED CYPRESS MULCH, ALL PLANTING BEDS ST. AUGUSTINE 'CTRA BLUE'				
IRRIGATION NOTE:		CONTRACTOR SHALL PROVIDE 100% COVERAGE AND 70% OVERLAP FOR ALL NEW LANDSCAPE AND LAWN AREAS				



ADONIDA PALM



SMALL LEAF CLUSIA



FOXTAIL PALM



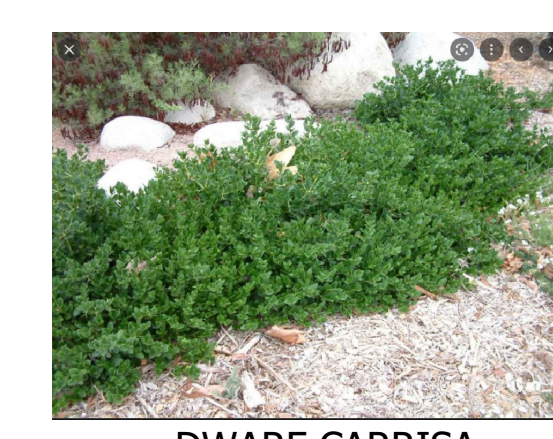
BOUGAINVILLEA STD.



ALEXANDER PALM



LIRIOPE



DWARF CARRISA



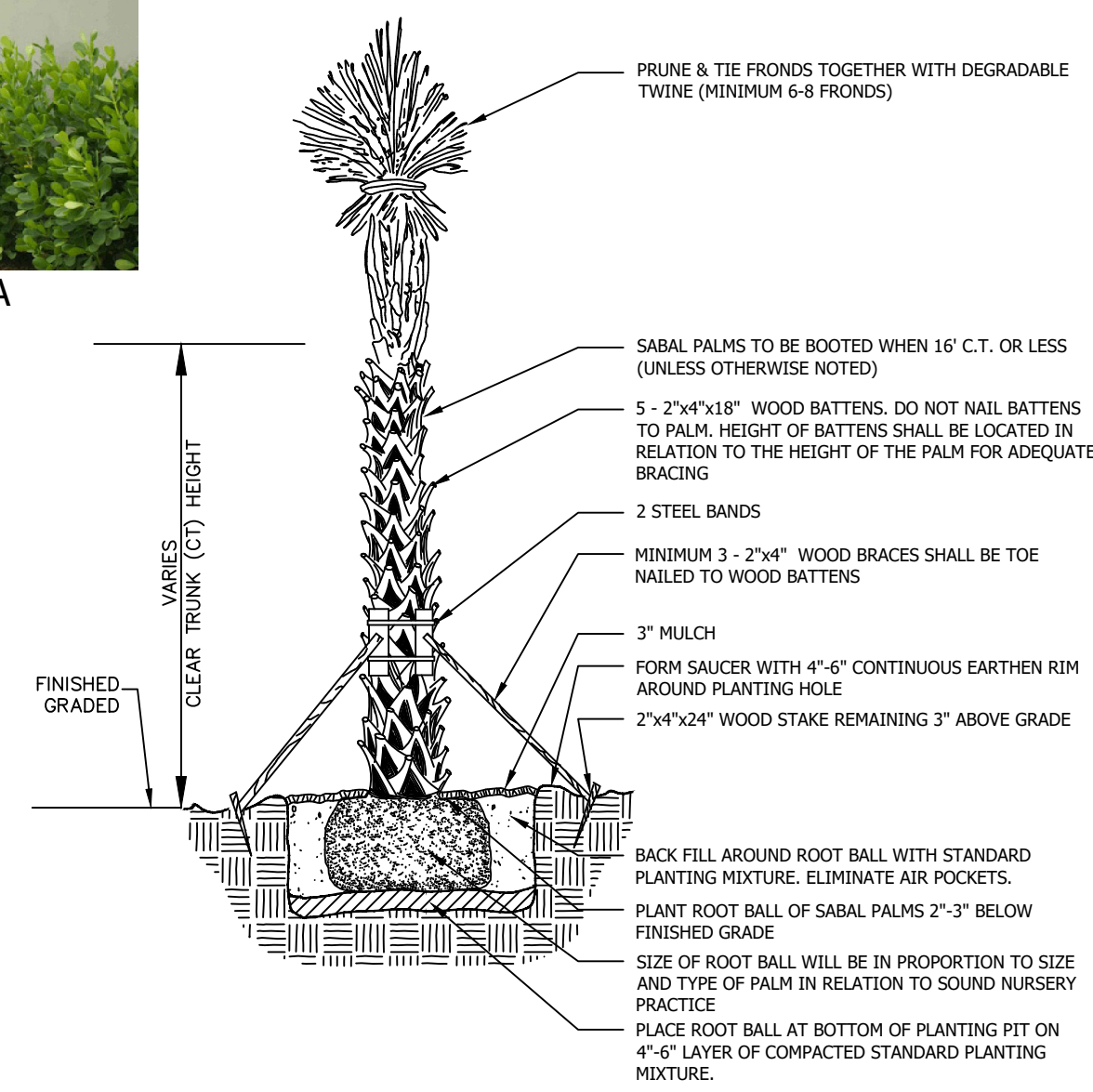
SYLVESTER PALM



PODOCARPUS

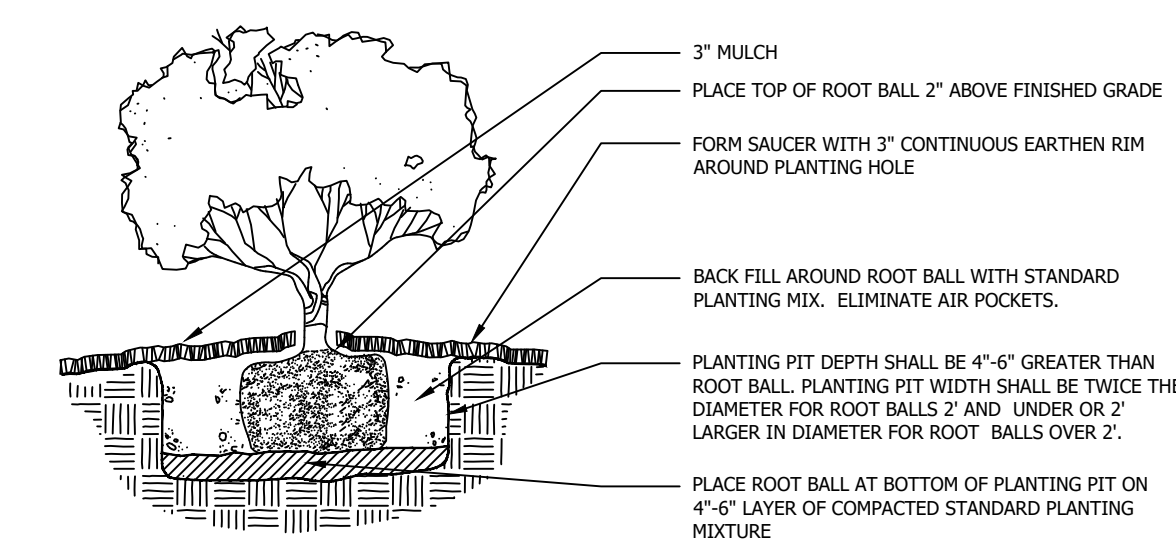


DWARF PITTOSPORUM



PALM PLANTING DETAIL

NTS

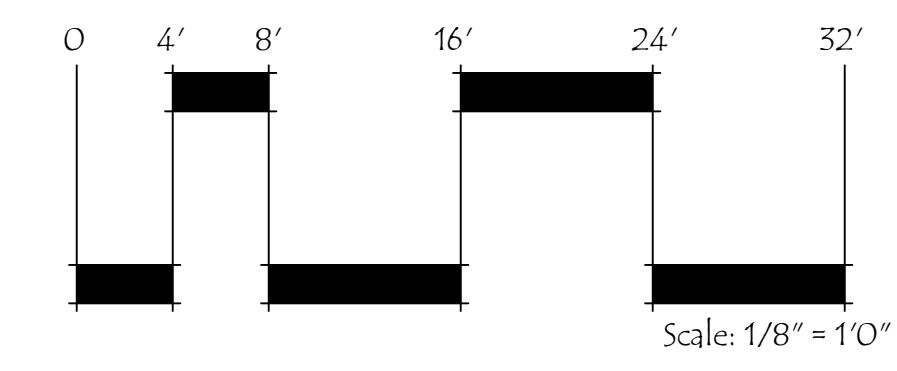


SHRUB/GROUNDCOVER PLANTING DETAIL

NTS

**Front Yard Lot Coverage Data**

FRONT YARD SETBACK AREA: 2169 SQ. FT.  
TOTAL HARDSCAPE AREA: 548 SQ. FT.  
HARDSCAPE COVERAGE: 25% IMPERVIOUS  
TOTAL GREENSPACE AREA: 1621 SQ. FT.  
GREENSPACE COVERAGE: 75% PERVIOUS



**LANDSCAPE PLAN**

**Tony Grimaldi Design**  
12330A SE Dixie Highway  
Hobe Sound, Florida 33455  
phone: 772.281.7759  
email: palmbeachtony@yahoo.com

**Litterick Landscape Architecture**  
12330A SE Dixie Highway  
Hobe Sound, Florida 33455  
phone: 561.791.3876  
email: jasonla1677@yahoo.com  
Sign& Seal

**PRIVATE RESIDENCE**  
34 Ocean Drive  
Jupiter Inlet Colony, Florida

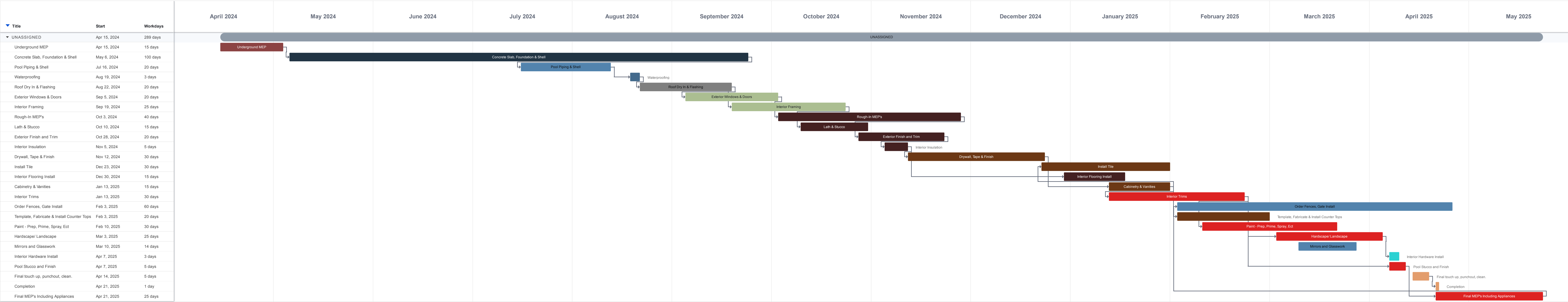
North

DESIGNED: TG  
SCALE: 1/8"=1'-0"  
APPROVED: JL  
JOB NUMBER:  
DATE: 3.1.2024  
REVISIONS:

SHEET LP1 OF 1



Schedule - Gantt - 34 Ocean Dr





**JUPITER INLET COLONY  
BUILDING AND ZONING COMMITTEE REVIEW STANDARDS**

**MASS AND VOLUME**

**Zoning Code Section 10.1. - Development standards for single family residences.**

**Mass and Volume Distribution.** Because lots within the town are limited in size, the massing and volume of any new residential building or addition *should be sensitive to the profiles of adjacent buildings and should locate second stories adequately to reduce the apparent overall scale of the building.* Second story windows, decks, terraces, and balconies for new construction *shall be designed and located to ensure privacy for adjacent properties* to the extent possible. *(emphasis added)*

**IMPACT REVIEW STANDARDS AND DECISIONS**

**Ordinance 02-2021**

**Procedures: Standards for Review.** In performing its impact review analysis, the Building and Zoning Committee shall approve an application if the Applicant demonstrates that:

- a. The proposed development will not adversely affect the public interest; and
- b. The mass, scale and height of the proposed development is consistent with the surrounding properties and neighborhood character; and
- c. The proposed development will not adversely affect adjoining properties; and
- d. For development on waterfront properties, the proposed development is sensitive to and preserves views from adjoining properties as much as is practicable.

**Decisions: Appeals.** In performing its impact review analysis, the Building and Zoning Committee shall either approve, approve with conditions, or deny an application for development approval. In the event the Building and Zoning Committee finds that an application meets the requirements of this Section, then the application shall be approved. In the event the Building and Zoning Committee approves the application with conditions or denies the application, the Applicant may either amend its development application in compliance with the decision of the Building and Zoning Committee or may appeal the decision to the Town Commission. ...



**JUPITER INLET COLONY  
BUILDING AND ZONING COMMITTEE MEETING  
03-20-2024**

Conditions of Approval: #34 Ocean Drive

- 1) A temporary area consisting of compacted gravel shall be installed on the lot for contractor parking.
- 2) Temporary filters shall be installed in the road drains within close proximity of the site to prevent sand and silt from entering the town's drainage system. Filters shall be cleaned thoroughly weekly and after each storm event. Sand and silt in the filters shall be properly disposed and not emptied into the town's drainage system.
- 3) A temporary screen shall be installed and maintained along the front of the property that shields construction activity from view to the extent possible.
- 4) The road in front of the lot shall be swept and cleaned nightly and kept clear of debris, runoff, sand, and vegetation at all times.
- 5) The contractor shall be responsible for the repair and maintenance of any damage in the town right-of-way and on private property as the result of construction activity.
- 6) During construction, the general contractor shall provide the Town quarterly updates regarding the construction schedule, major milestones, and timeline to complete the residence. Any significant deviation from the schedule shall require review and approval by the Building and Zoning Committee.



**JUPITER INLET COLONY**  
**GENERATOR LAND DEVELOPMENT CODE REQUIREMENTS**

**Sec. 4-13. Generators.**

- (a) These regulations shall apply to all portable or permanent generators temporarily or permanently placed on the ground, on a stand or on a trailer.
- (b) All permanent generators shall be permitted as required by the Florida Building Code.
- (c) There shall be no more than one such generator on any privately-owned property.
- (d) **The generator shall be set back a minimum of five (5) feet from the side or rear property line. (NOTE: ten (10) feet preferred.)**
- (e) The generators exhaust shall be, as much as practically feasible, vented upwards or directed away from neighboring properties.
- (f) The generator shall be used only during periods of power outages or for periodic testing and necessary maintenance operation and shall not be used to sell power back to a power company or for use by power customers during periods of peak demand.
- (g) A generator may be operated for manufacturer recommended testing or maintenance. **Such operation shall not occur more than one (1) time in any seven-day period and for no longer than thirty (30) minutes for each operation. The operation of a generator pursuant to this paragraph shall be conducted only on Monday through Friday (excluding holidays) between the hours of 9:00 a.m. and 5:00 p.m.**
- (h) Testing may be conducted when the unit is being repaired provided that such testing shall not exceed thirty (30) minutes and shall be conducted only between the hours of 9:00 a.m. and 5:00 p.m. Monday through Saturday, excluding holidays.
- (i) Generators shall not be permitted in the required front yard area or on the roof of a building.
- (j) **All permanent generators shall be screened from the street and the neighboring property owner's view by a wing wall (three-sided wall) at least four (4) feet high or at the same height as the generator, including the height of the exhaust, whichever is greater.** Landscape material shall be installed along the exterior of each face of the wing wall.
- (k) This code section shall not apply to generators owned and operated by the town or another governmental entity.
- (l) The building official may issue a permit for the use of a portable generator for a period not to exceed four (4) days provided the permit applicant provides proof that either permanent or temporary electrical power is not available at the work location. The portable generator shall be operated only during the times for permissible construction activities as set forth in section 4-3 of this Code. No fee shall be required for the issuance of such a permit. (Ord. No. 244-155-110, § 1, 9-27-10; Ord. No. 08-2016 , § 10, 1-9-17)



## **TOWN OF JUPITER INLET COLONY ACCESSORY STRUCTURES AND SETBACKS**

### **Section 11. - Uses Permitted.**

**(B) Within the RS Single-Family Residential District, no building, structure, land, or water shall be used, unless otherwise permitted by this Code, except for one (1) or more of the following uses:**

- (1) Single-family residential dwellings and accessory uses customarily incident to them.

### **Section 17. - General Provisions and Exceptions.**

#### **(A) Location of Accessory Building and Uses.**

- (1) When an accessory building is attached to a main structure by a breezeway, passage, or otherwise, it shall conform to the setback and height requirements of the principal structure.
- (2) A detached accessory building shall not be closer than four (4) feet to the main building or other accessory building on the same lot.
- (3) No detached accessory building shall be located in the front yard area.

#### **(B) Yards.**

- (1) Every part of a required yard shall be open, from its lowest point to the sky; unobstructed, except for ordinary projections less than ten and one-half (10.5) inches in width protruding from the side of a home or structure, such as impact protection (hurricane shutters, excluding awning type), sills, belt courses, cornices, buttresses, ornamental features, chimneys, flues, dryer vents, electric outlets, meters, water spigots, and the like. If eaves, canopies, or cantilevered roofs project more than twenty-four (24) inches, the minimum yard requirement shall be extended a distance equal to the amount such projection exceeds twenty-four (24) inches.

Except as provided in this section and Section 14, front, rear, and side yard regulations, no other structure or improvement of any nature, other than fences, privacy walls, seawalls, landings, walks, walkways, driveways, mailboxes, landscape lighting, light posts, clean-outs, and equipment on equipment pads, shall be constructed or placed in a required yard area. Sufficient side yard area shall be maintained at all times to allow access to the rear yard for maintenance purposes. All other projections, structures, and improvements not specifically permitted by the Zoning Code or required by the Florida Building Code or other governmental entity are prohibited.

### **Section 1. - Definitions and Rules of Construction.**

**Accessory building.** A detached, subordinate structure, the use of which is clearly incidental and related to that of the principal structure and which is located on the same lot as the principal structure, e.g. garage and bath house.

**Residence.** A single-family home, including accessory buildings and garages, on a residential lot or combination of lots.



**JUPITER INLET COLONY**  
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- (g) A generator may be operated for manufacturer recommended testing or maintenance. **Such operation shall not occur more than one (1) time in any seven-day period and for no longer than thirty (30) minutes for each operation. The operation of a generator pursuant to this paragraph shall be conducted only on Monday through Friday (excluding holidays) between the hours of 9:00 a.m. and 5:00 p.m.**
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